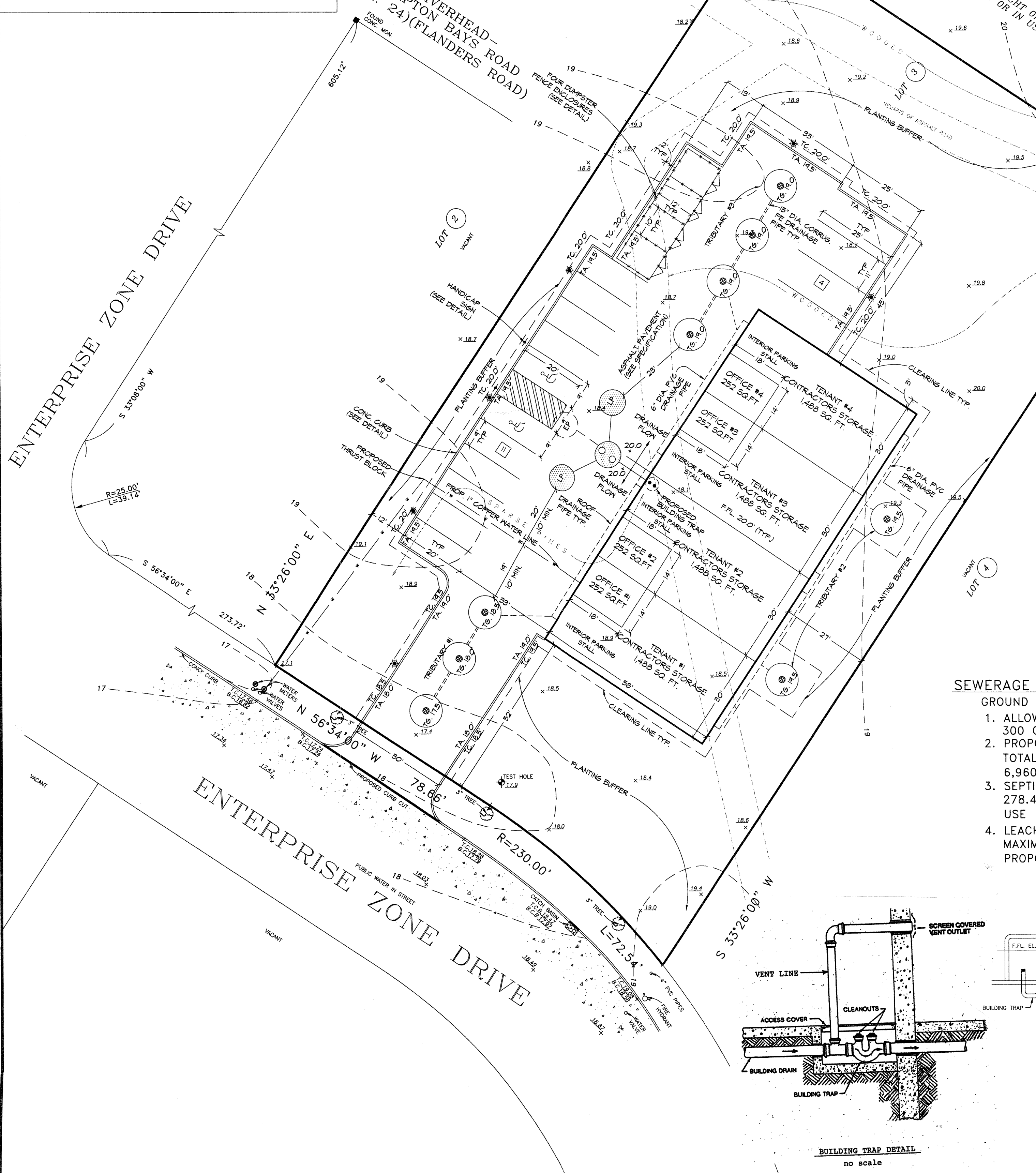
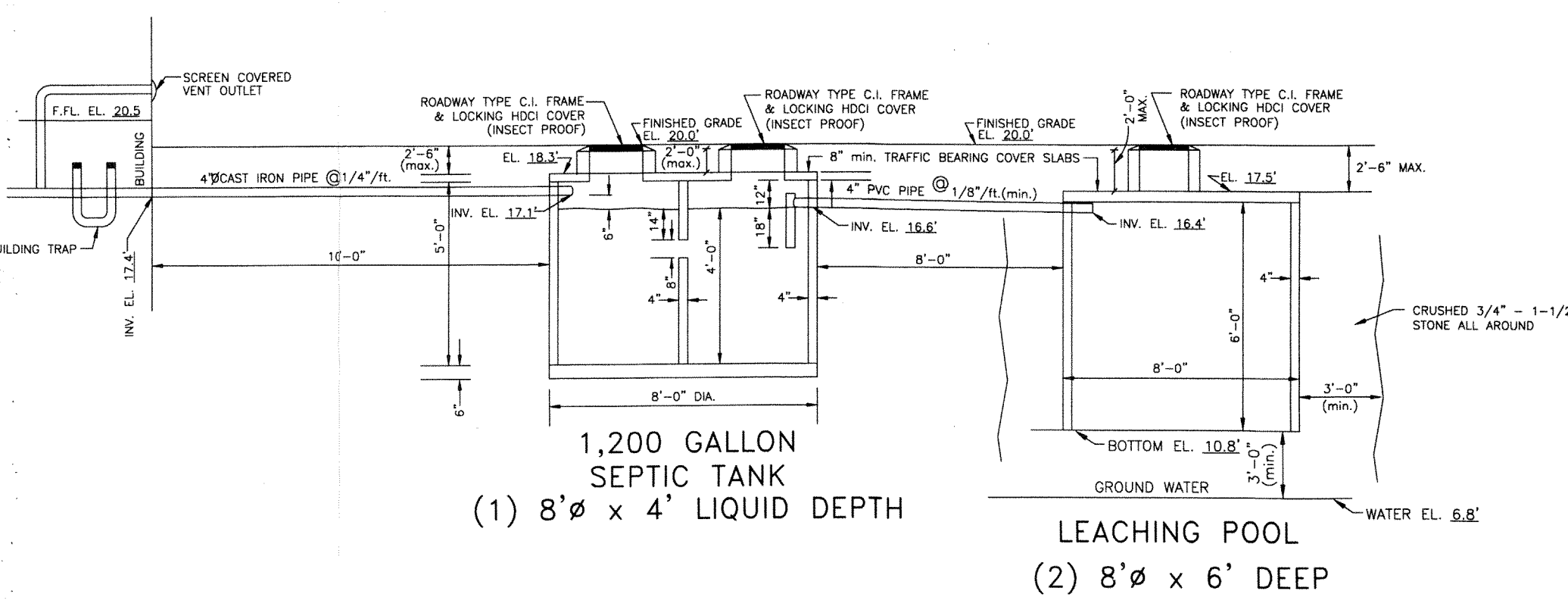
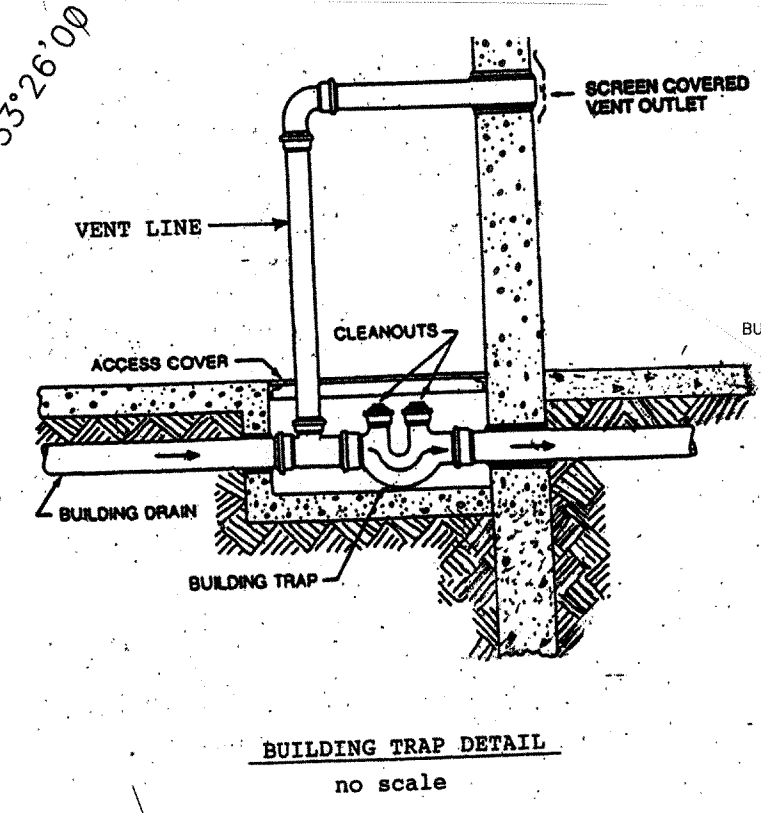


KEY MAP
SCALE 1"=600'



SEWERAGE DISPOSAL SYSTEM CALCULATIONS:

- GROUND WATER MANAGEMENT ZONE III
- ALLOWABLE DESIGN FLOW 300 GPD/AC
 $300 \text{ GPD} \times 0.936 = 280.8 \text{ GPD}$
 - PROPOSED DESIGN FLOW (GENERAL INDUSTRIAL SPACES)
TOTAL BUILDING AREA $58 \times 120 = 6,960 \text{ SQ. FT.}$
 $6,960 \text{ SQ. FT.} \times 0.04 \text{ GPD} = 278.4 \text{ GPD}$
 - SEPTIC TANK CAPACITY REQUIRED
 $278.4 \text{ GPD} \times 2 = 556.8 \text{ GPD}$
USE 1,200 GALLON TANK (8'DIA. \times 4' LIQUID DEPTH)
 - LEACHING POOL REQUIRED
MAXIMUM $278.4 \text{ GPD} / 1.5 = 185.6 / 25.05 = 7.4 \text{ VF.}$
PROPOSED (2) 8'DIA. \times 6'DEEP POOLS



Town of Southampton Planning Board
July 7, 2011

James DeLuca and Nathan Taft Corwin III, L.S. dated June 5, 2008 and last revised January 28, 2011, subject to the following conditions:

- Changes to the site plan prior to signature.
 - All changes and modifications to the site plan required herein shall be depicted on the plans submitted for signature.
 - Indicate 19 required parking spaces.
 - Indicate the parking spaces in each unit.
 - Site plan shall indicate the clearing to be consistent with the landscape plan.
 - Compliance with Department of Public Safety comments, including the knock box.
 - Site plan shall note there is a covenant (date of filing) which limits the clearing to 50% of the property and limits fertilization to 15% of the property.
 - Indicate use of 15 inch pipe between leaching basins and wrap the upper 4-feet of the leaching basins with filter fabric as per Town standards.
- Landscape Plan to be reviewed by the Environmental Division.
- General Conditions of Approval
 - All HVAC systems shall be screened and located so as not to be visible from the adjacent roadway.
 - The exterior lighting shall be 100 watts or less and be full out off designed fixtures.
 - The installation and/or use of dusk to dawn lighting fixtures, whether located on or off premises and used to illuminate the subject parcel, shall not be permitted.
 - All proposed lighting shall be shielded and all outdoor lighting shall project downward and light sources shall not be visible to adjacent properties or roadways.
 - This application is subject to inspection fees for the Site Plan and the Stormwater Management Plan. The fees are currently \$1,250.00 and \$300.00 respectively, but may change in the future. Prior to start of construction, the applicant will need to deliver a check in the amount of \$1,550.00 to the Engineering Division, payable to the Town of Southampton.
 - Please arrange for a pre-construction meeting with the Engineering Division two weeks prior to the start of construction. Engineering Division to be contacted no less than 48 hours in advance, during all phases of the project, to inspect erosion control measures, drainage before backfilling, before and after paving of roads and parking lots. Failure to obtain Engineering inspections during the construction process will either delay final approval, or incur substantial costs to the applicant to expose installed components, in order to obtain approval. Prior to final inspection, submit as is built land survey showing all site improvements including, but not limited to, buildings and structures, parking areas, storm-water drainage inlets, retaining wall & fence height and locations.
- Items to be submitted/completed as condition of approval.
 - The current landowner shall file a notarized affidavit indicating compliance with the conditions the site plan approval, as set forth herein, and any deviation shall require review and approval by the Planning Board.
 - As per Section 300-184 K of the Zoning Law ten (10) complete sets of all plans shall be submitted for Planning Board signature with the conditions of approval affixed to each set of the plans, the standard statement agreeing to complete said work, and signed by the applicant. Said plans must be submitted and the required statement signed within ninety (90) days of the date of the aforementioned resolution, otherwise said resolution shall be deemed null and void.
- Items to be complete prior to issuance of a Certificate of Occupancy
 - A maintenance bond having a term of two (2) years shall be submitted to guarantee the survival of the landscaping prior to the issuance of a Certificate of Occupancy. The Planning Division upon completion of the work and acceptance of the landscaping as shown on the approved plan shall set the amount of this bond. The applicant shall submit a cost estimate of the approved landscaping for review and approval in conjunction with setting this bond.

Town of Southampton Planning Board
July 7, 2011

AGENDA ITEM No. 7
ADOPTED RESOLUTION
CONDITIONAL APPROVAL
SITE PLAN/SPECIAL EXCEPTION APPLICATION
ENTERPRISE LOT #3, LLC
HAMLET OF RIVERSIDE

WHEREAS, the Site Plan/Special Exception Application entitled Enterprise Lot #3, LLC was deemed complete by the Town of Southampton Planning Board on April 28, 2011, and

WHEREAS, the Planning Board adopted a Pre-Submission Conference Report for the Enterprise Lot #3, LLC on December 2, 2010;

WHEREAS, the site plan/special exception application is for the construction of a 7,200 square foot building for 4 special trade contractor uses on a 40,765 square foot parcel located on Enterprise Zone Drive in the LI-40 Zoning District in the Aquifer Protection Overlay District and the CPB Compatible Growth Area (SCTM NO. 900-141-1-9.5);

WHEREAS, the project meets the criteria for classification as a Unilateral action pursuant to Article 8 (State Environmental Quality Review Act, SEQRA) of the New York State Environmental Conservation Law and pursuant to Chapter 157 (Environmental Quality Review) of the Southampton Town Code;

WHEREAS, the Planning Board adopted a negative declaration on April 28, 2011;

WHEREAS, the subject application was referred to other relevant agencies and any responses if received are provided in the Staff Report dated July 7, 2011;

WHEREAS, a public hearing was held on the subject application on May 26, 2011, and public comments received are referenced in the Staff Report dated July 7, 2011; and

WHEREAS, the Planning Board has reviewed said application with regard to the Site Plan elements pursuant to Section 330-182 and Special Exception criteria pursuant to §330-122 of the Town Code and reviewed the Staff Report dated July 7, 2011, and finds that the application is in compliance therewith, and any outstanding items can be addressed with conditions; now therefore

BE IT RESOLVED, The Planning Board hereby approves the Special Exception application for Enterprise Zone Lot #3 for four (4) special trade contractor uses subject to the following conditions:

- Outdoor storage is prohibited within 50 feet of the front yard. Storage will require additional review and approval by the Planning Board/Planning Division; and be it further

RESOLVED, The Planning Board hereby approves the Site Plan of Enterprise Lot #3, LLC for the construction of a 7,200 square foot building for 4 special trade contractor uses on a 40,765 square foot parcel located on Enterprise Zone Drive in the LI-40 Zoning District in the Aquifer Protection Overlay District and the CPB Compatible Growth Area (SCTM NO. 900-141-1-9.5), as shown on the site plan prepared by James DeLuca dated August 10, 2010, the Building Elevation prepared by James DeLuca dated May 13, 2011 and the Planning and Lighting Plan prepared by

SHEET 1 OF 1
SITE PLAN
LOT 3
MAP OF
SOUTHAMPTON ENTERPRISE ZONE
FILE No. 11151 FILED AUGUST 31, 2004
SITUATE
FLANDERS
TOWN OF SOUTHAMPTON
SUFFOLK COUNTY, NEW YORK
S.C. TAX No. 900-141-01-9.5
SCALE 1"=20'
JUNE 5, 2008
JANUARY 28, 2011 ADDED SITE PLAN
APRIL 14, 2011 REVISED MAP
AUGUST 7, 2011 ADDED ADDITIONAL NOTES

Scale 1" = 20'

AREA = 40,765 sq. ft.
0.936 ac.

OWNER
ENTERPRISE LOT 3 LLC
138 OREGON AVE
MEDFORD NY 11763

APPROVED
JUL - 7 2011
SOUTHAMPTON TOWN PLANNING BOARD
DATE 10/21/11

NOTES:

- ELEVATIONS ARE REFERENCED TO AN N.G.V.D. 1929 DATUM
EXISTING ELEVATIONS ARE SHOWN THUS: $\text{---} \cdot \text{---}$
EXISTING CONTOUR LINES ARE SHOWN THUS: $\text{---} \cdot \text{---}$
- COVENANTS AND RESTRICTIONS AFFECTING SOME OR ALL LOTS IN THIS SUBDIVISION HAVE BEEN FILED WITH THE CLERK OF SUFFOLK COUNTY.
- NO WELLS WITHIN 150' OF PROPOSED SEPTIC SYSTEM.
- NO ANY SURFACE WATERS WITHIN 300' OF SITE.

SITE DATE TABLE:

1. SITE AREA	40,765 SQ. FT.
2. PERMITTED CLEARING (50%)	20,383 SQ. FT.
3. PROPOSED CLEARING AREA (48%)	19,567 SQ. FT.
4. EXISTING VEGETATED AREA	36,665 SQ. FT.
5. PROPOSED REVEGETATED AREA	2,350 SQ. FT.
6. TOTAL PROPOSED VEGETATED AREA (52%) (INCLUDE REVEGETATED AREA)	21,198 SQ. FT.
7. PROPOSED ASPHALT AREA	10,760 SQ. FT.
8. PROPOSED ROOF AREA	6,960 SQ. FT.

ZONING DATE TABLE:

1. ZONING DISTRICT	LI-40
2. PERMITTED LOT COVERAGE (30%)	12,229 SQ. FT.
3. PROPOSED LOT COVERAGE (17.1%)	6,960 SQ. FT.
4. MAXIMUM BUILDING HEIGHT	40 FT.
5. PROPOSED BUILDING HEIGHT	37 FT.
6. PERMITTED FRONT YARD DEPTH	50 FT.
7. PROPOSED FRONT YARD DEPTH	52 FT.
8. PERMITTED MINIMUM SIDE YARD	20 FT.
9. PROPOSED MINIMUM SIDE YARD	25 FT.
10. PERMITTED MINIMUM TOTAL SIDE YARDS	60 FT.
11. PROPOSED MINIMUM TOTAL SIDE YARDS	70 FT.
12. PERMITTED REAR YARD DEPTH	60 FT.
13. PROPOSED REAR YARD DEPTH	97 FT.

REQUIRED PARKING

1. CONTRACTORS USE ONE STALL PER 50 SQ. FT.	= 15 STALLS EXTERIOR
2. REQUIRED PARKING: 7,200/500	= 14 STALLS
3. REQUIRED EMPLOYEE PARKING: ONE PER TENANT 1x4= 4 STALLS (INTERIOR)	= 19 STALLS
4. TOTAL PARKING REQUIRED	= 19 STALLS
5. TOTAL PARKING PROVIDED	= 19 STALLS

LEGEND

- PROPOSED STORMWATER LEACHING POOL WITH INLET GRATE
- PROPOSED SEPTIC TANK
- PROPOSED SANITARY LEACHING POOL
- PROPOSED FUTURE 50% EXPANSION POOL
- TRAFFIC FLOW
- PROPOSED WATER LINE
- PITCH FOR STORMWATER FLOW
- TOP OF CURB ELEVATION
- TOP OF ASPHALT ELEVATION
- TOP OF INLET GRATE ELEVATION
- 10' HIGH MAX. LIGHT POLE WITH 70 WATT MH LIGHT FIXTURE TYP.

CLEARING FOR PROPERTY IS LIMITED TO 50% AND FERTILIZATION LIMITED TO 15% OF THE PROPERTY PURSUANT TO THE DECLARATION OF COVENANTS FILED ASSOCIATED WITH THE SOUTHAMPTON ENTERPRISE ZONE SUBDIVISION.

PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR TITLE SURVEYS AS ESTABLISHED BY THE L.L.A.S. AND APPROVED AND ADOPTED FOR SUCH USE BY THE NEW YORK STATE LAND TITLE ASSOCIATION.

REGISTERED ARCHITECT
JAMES V. DeLUCCA
NO. 023855
STATE OF NEW YORK
N.Y.S. Lic. No. 50467

REGISTERED LAND SURVEYOR
NATHAN TAFT CORWIN III
NO. 50467
STATE OF NEW YORK
N.Y.S. Lic. No. 50467

JAMES V. DeLUCCA
ARCHITECT

PHONE (631)727-1611
OFFICES LOCATED AT
16 LINDA LANE EAST
RIVERHEAD, New York 11901

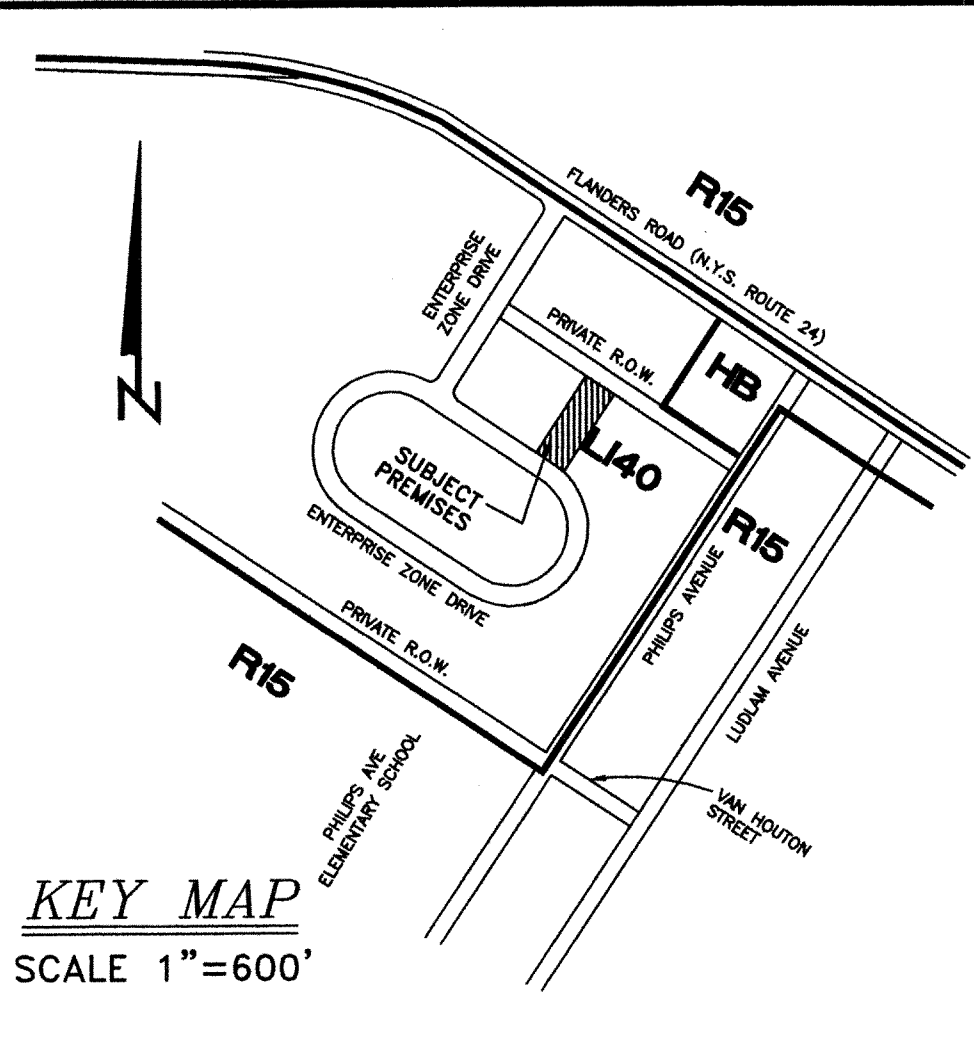
Nathan Taft Corwin III
Land Surveyor

Successor To: Stanley J. Isaksen, Jr. L.S.
Joseph A. Ingegno L.S.

Title Surveys - Subdivisions - Site Plans - Construction Layout

PHONE (631)727-2090
OFFICES LOCATED AT
1586 Main Road
Jamestown, New York 11947

Fax (631)727-1727
MAILING ADDRESS
P.O. Box 16
Jamestown, New York 11947



KEY MAP
SCALE 1"=600'

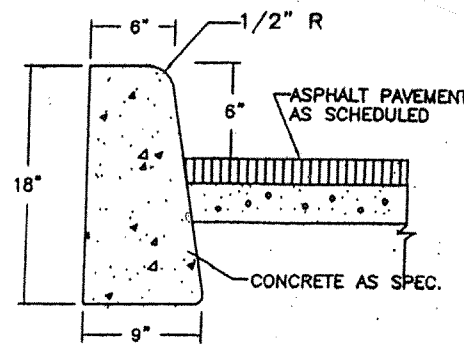


18" x 12" (H x W)

Handicapped above grade sign which shall be positioned from the parking space surface a height of five feet to its lowest point typ.

Handicapped loading area stripping @ 2'-6" O.C. as per ansi A117.1 code

TYPICAL
CONCRETE CURB
NOT TO SCALE



CONCRETE CURB SPECIFICATIONS:

4000 PSI concrete w/exp. joint @ 20'-0" O.C. all pts, pcs.

ASPHALT PAVEMENT SPECIFICATIONS:

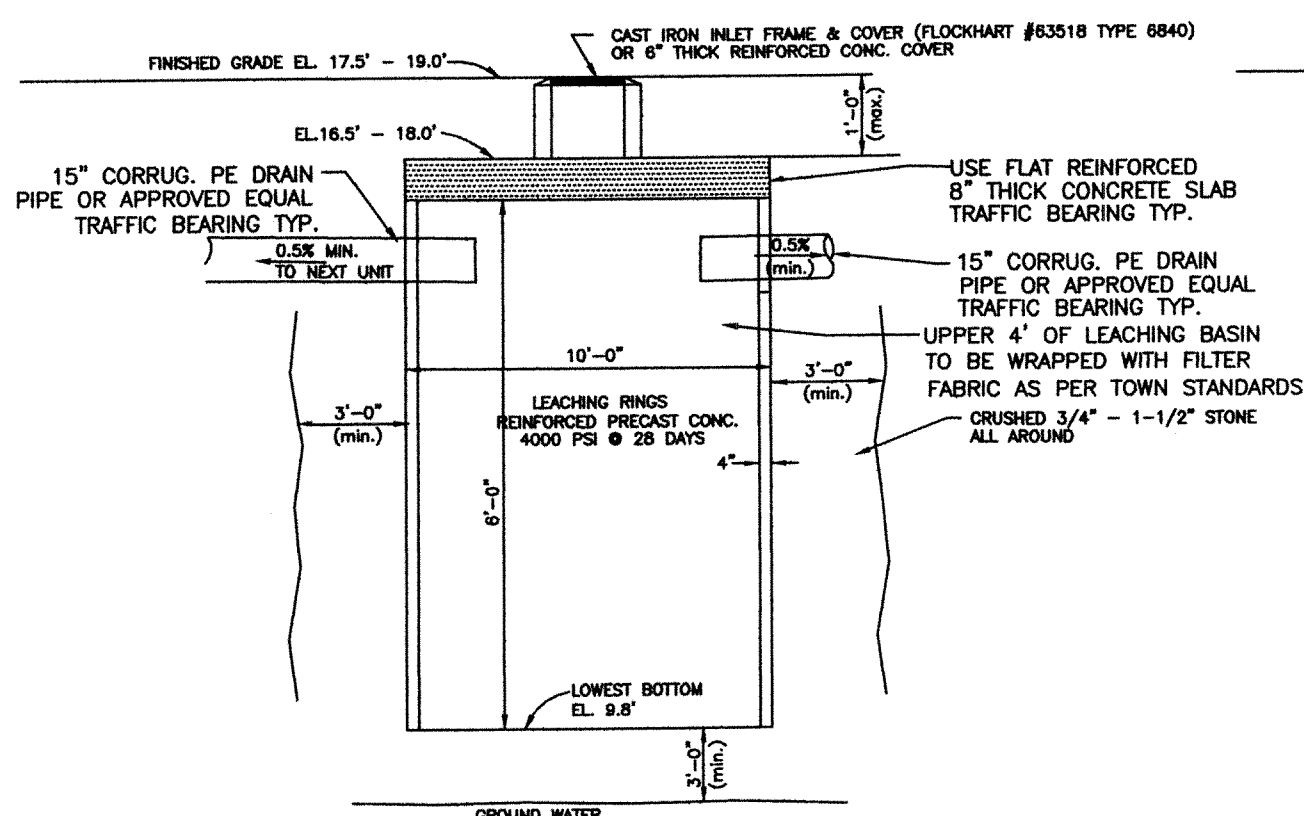
TOP COURSE: 1 1/2" min. compacted N.Y.S.D.O.T. type 51-F asphalt concrete

BINDER COURSE: 2 1/2" min. compacted N.Y.S.D.O.T. type 3 asphalt concrete

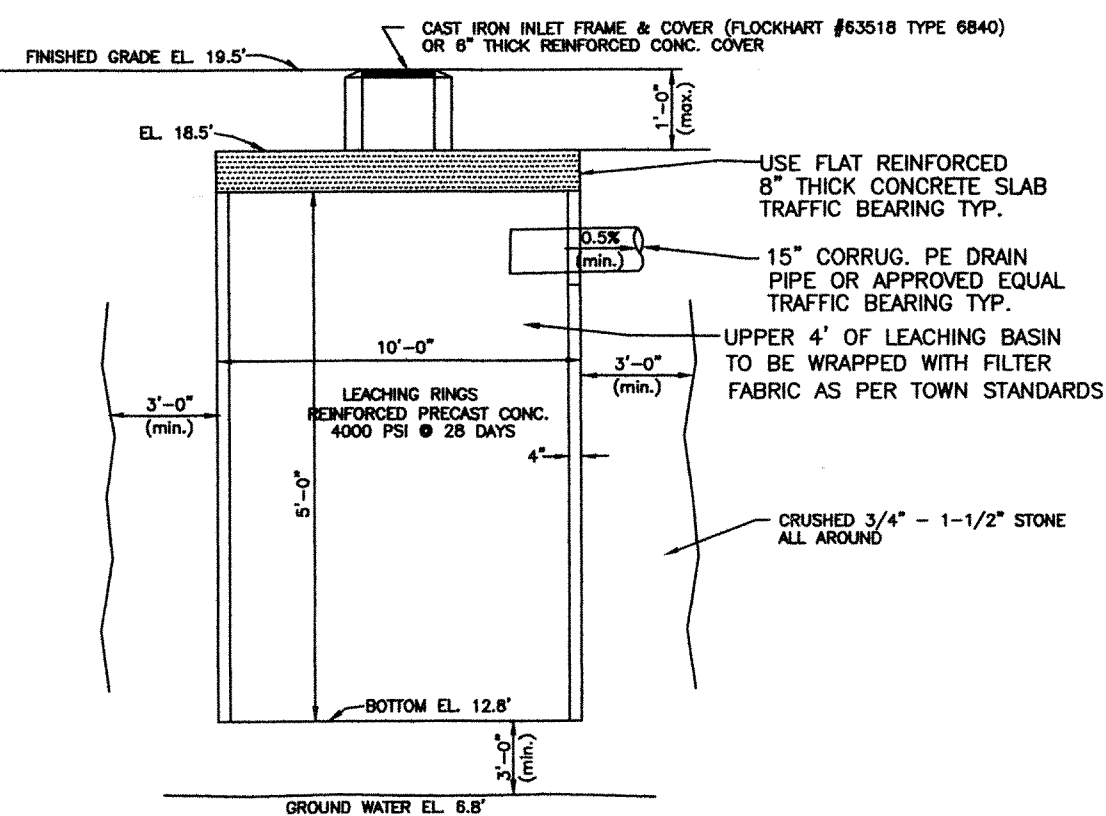
BASE COURSE: 6" recycled concrete (RCA) compacted N.Y.S.D.O.T. type 1011 material "A"

All over 6" stabilized soil sub/base

TYPICAL STORMWATER UNIT
TRIBUTARY AREA ONE AND THREE
(NOT TO SCALE)



TYPICAL STORMWATER UNIT
TRIBUTARY AREA TWO
(NOT TO SCALE)



DRAINAGE TRIBUTARY CALCULATIONS

TRIBUTARY ONE	
ASPHALT AREA = 4,752 SQ. FT.	
ROOF AREA = 1,740 SQ. FT.	
TOTAL = 6,492 SQ. FT.	
DRAINAGE REQUIRED:	
6,492 x 0.167 = 1,085 C.F.	
1,085 / 68.42 = 15.9 V.F.	
PROVIDE (3) 10'DIA. x 6'DEEP LEACHING POOLS (18.0' V.F.)	
TRIBUTARY TWO	
ASPHALT AREA = 5,480 SQ. FT.	
DRAINAGE REQUIRED:	
5,480 x 0.167 = 915.2 C.F.	
915.2 / 64.42 = 14.2 V.F.	
PROVIDE (2) 10'DIA. x 5'DEEP LEACHING POOLS (10.0' V.F.)	
TRIBUTARY THREE:	
ASPHALT AREA = 6,008 SQ. FT.	
ROOF AREA = 1,740 SQ. FT.	
TOTAL = 7,748 SQ. FT.	
DRAINAGE REQUIRED:	
7,748 x 0.167 = 1,293 C.F.	
1,293 / 68.42 = 18.9 V.F.	
PROVIDE (4) 10'DIA. x 6'DEEP LEACHING POOLS (24.0' V.F.)	
TOTAL V.F. REQUIRED = 43.3 V.F.	
TOTAL V.F. PROVIDED = 52.0 V.F.	

CLEARING FOR PROPERTY IS LIMITED TO 50% AND FERTILIZATION LIMITED TO 15% OF THE PROPERTY PURSUANT TO THE DECLARATION OF COVENANTS FILED ASSOCIATED WITH THE SOUTHAMPTON ENTERPRISE ZONE SUBDIVISION.

SHEET 2 OF 2 SITE PLAN DETAIL LOT 3 MAP OF SOUTHAMPTON ENTERPRISE ZONE

FILE No. 11151 FILED AUGUST 31, 2004

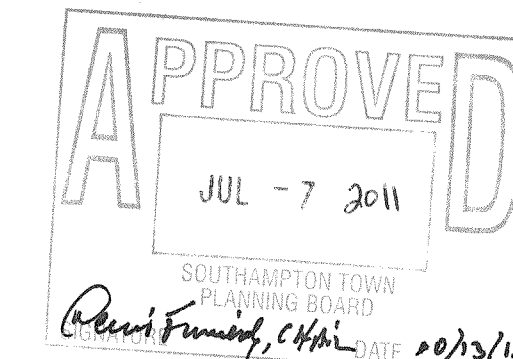
SITUATE
FLANDERS

TOWN OF SOUTHAMPTON
SUFFOLK COUNTY, NEW YORK
S.C. TAX No. 900-141-01-9.5
SCALE 1"=20'
JUNE 5, 2008

JANUARY 28, 2011 ADDED SITE PLAN
AUGUST 7, 2011 ADDED ADDITIONAL NOTES

OWNER

ENTERPRISE LOT 3 LLC
138 OREGON AVE
MEDFORD NY 11763



Town of Southampton Planning Board
July 7, 2011

James DeLuca and Nathan Taft Corwin III, LS dated June 5, 2008 and last revised January 28, 2011, subject to the following conditions:

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- Indicate 19 required parking spaces.
- Indicate the parking spaces in each unit.
- Site plan shall indicate the clearing to be consistent with the landscape plan.
- Compliance with Department of Public Safety comments, including the Knox box.

- Site plan shall note there is a covenant (date of filing) which limits the clearing to 50% of the property and limits fertilization to 15% of the property.
- Indicate use of 15 inch pipe between leaching basins and wrap the upper 4-feet of the leaching basins with filter fabric as per town standards.
- Landscape Plan to be reviewed by the Environmental Division.

- General Conditions of Approval

- All HVAC systems shall be screened and located so as not to be visible from the adjacent roadway.
- The exterior lighting shall be 100 watts or less and be full cut off designed fixtures.
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- Outdoor storage is prohibited within 50 feet of the front yard. Storage will require additional review and approval by the Planning Board/Planning Division; and be it further

- RESOLVED, the Planning Board hereby approves the Site Plan of Enterprise Lot #3, LLC for the construction of a 7,200 square foot building for 4 special trade contractor uses on a 40,765 square foot parcel located on Enterprise Zone Drive in the LI-40 Zoning District in the Aquifer Protection Overlay District and the CFB Compatible Growth Area (SCTM NO. 900-141-1-9.5), as shown on the site plan prepared by James DeLuca dated August 10, 2010, the Building Elevation prepared by James DeLuca dated May 13, 2011 and the Planning and Lighting Plan prepared by

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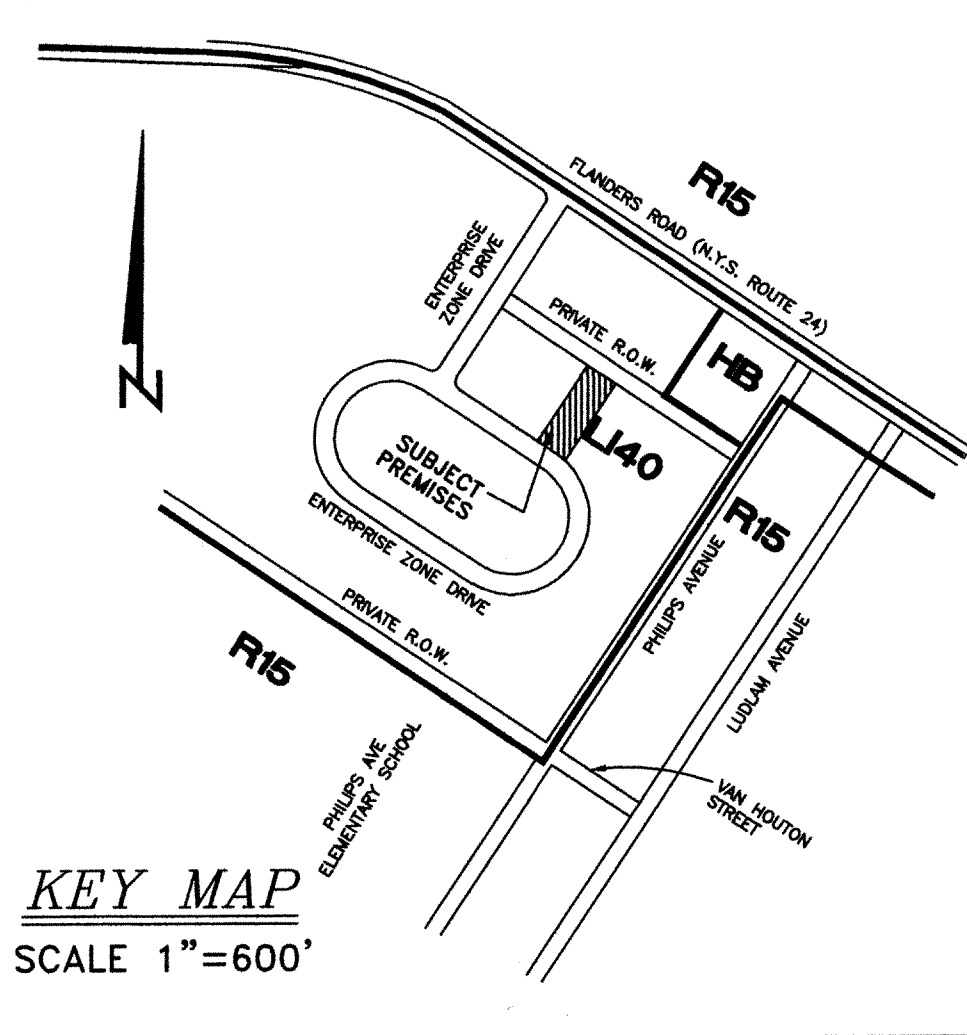
JAMES V. DeLUCCA
ARCHITECT

PHONE (631)727-1611
OFFICES LOCATED AT
1586 Main Road
RIVERHEAD, New York 11901

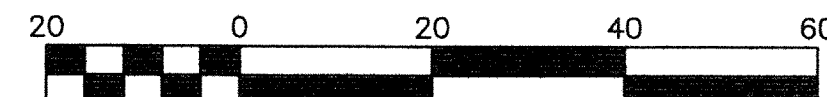
Nathan Taft Corwin III
Land Surveyor

Successor To: Stanley J. Isaksen, Jr. L.S.

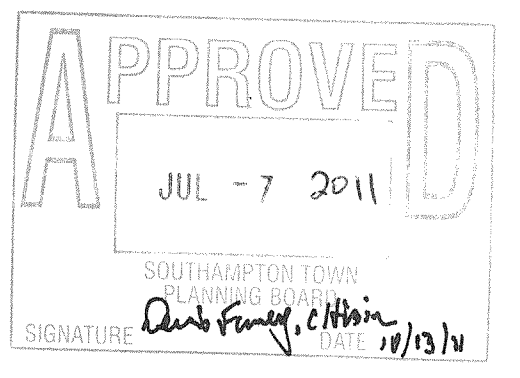
Title Surveys - Subdivisions - Site Plans - Construction Layout
PHONE (631)727-2090 Fax (631)727-1727
OFFICES LOCATED AT MAILING ADDRESS
1586 Main Road P.O. Box 16
Jamestown, New York 11947 Jamestown, New York 11947



SHEET 1 OF 2
EROSION CONTROL MEASURE PLAN
LOT 3
MAP OF
SOUTHAMPTON ENTERPRISE ZONE
FILE No. 11151 FILED AUGUST 31, 2004
SITUATE
FLANDERS
TOWN OF SOUTHAMPTON
SUFFOLK COUNTY, NEW YORK
S.C. TAX No. 900-141-01-9.5
SCALE 1"=20'
JUNE 5, 2008
JANUARY 28, 2011 ADDED SITE PLAN



Scale 1" = 20'
AREA = 40,765 sq. ft.
0.936 ac.



OWNER
ENTERPRISE LOT 3 LLC
138 OREGON AVE
MEDFORD NY 11763

SITE DATE TABLE:

1. SITE AREA	40,765 SQ. FT.
2. PERMITTED CLEARING (50%)	20,383 SQ. FT.
3. PROPOSED CLEARING AREA (48%)	19,567 SQ. FT.
4. EXISTING VEGETATED AREA	36,665 SQ. FT.
5. PROPOSED REVEGETATED AREA	2,350 SQ. FT.
6. TOTAL PROPOSED VEGETATED AREA (52%) (INCLUDE. REVEGETATED AREA)	21,198 SQ. FT.
7. PROPOSED ASPHALT AREA	10,760 SQ. FT.
8. PROPOSED ROOF AREA	6,960 SQ. FT.

ZONING DATE TABLE:

1. ZONING DISTRICT	U-40
2. PERMITTED LOT COVERAGE (30%)	12,229 SQ. FT.
3. PROPOSED LOT COVERAGE (17.1%)	6,960 SQ. FT.
4. MAXIMUM BUILDING HEIGHT	40 FT.
5. PROPOSED BUILDING HEIGHT	37 FT.
6. PERMITTED FRONT YARD DEPTH	50 FT.
7. PROPOSED FRONT YARD DEPTH	52 FT.
8. PERMITTED MINIMUM SIDE YARD	20 FT.
9. PROPOSED MINIMUM SIDE YARD	25 FT.
10. PERMITTED MINIMUM TOTAL SIDE YARDS	60 FT.
11. PROPOSED MINIMUM TOTAL SIDE YARDS	70 FT.
12. PERMITTED REAR YARD DEPTH	60 FT.
13. PROPOSED REAR YARD DEPTH	97 FT.

REQUIRED PARKING

- CONTRACTORS USE ONE STALL PER 50 SQ. FT.
- REQUIRED PARKING: 7200/500 = 14.4 = 15 STALLS (EXTERIOR)
- REQUIRED EMPLOYEE PARKING: ONE PER TENANT 1444 = 4 STALLS (INTERIOR)
- TOTAL PARKING REQUIRED = 19 STALLS
- TOTAL PARKING PROVIDED = 19 STALLS

CLEARING FOR PROPERTY IS LIMITED TO 50% AND FERTILIZATION LIMITED TO 15% OF THE PROPERTY PURSUANT TO THE DECLARATION OF COVENANTS FILED ASSOCIATED WITH THE SOUTHAMPTON ENTERPRISE ZONE SUBDIVISION.

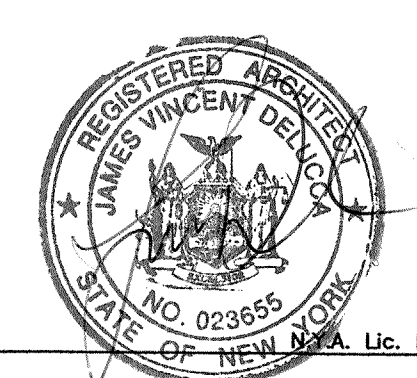
NOTES:

- ELEVATIONS ARE REFERENCED TO AN N.G.V.D. 1929 DATUM. EXISTING ELEVATIONS ARE SHOWN THUS: $\text{---} \cdot \text{---}$. EXISTING CONTOUR LINES ARE SHOWN THUS: $\text{---} \cdot \text{---}$.
- COVENANTS AND RESTRICTIONS AFFECTING SOME OR ALL LOTS IN THIS SUBDIVISION HAVE BEEN FILED WITH THE CLERK OF SUFFOLK COUNTY.

For new buildings and/or structures:

"I accept the provisions of this site plan and all conditions of the Planning Board resolution dated () and agree that all conditions will be fully complied with and agree that it will be fully completed, or the outstanding items of work bonded (with acceptable surety to the Town) before any new building(s) or structure(s) shown on this approved plan is (are) occupied, and agree that a certificate of occupancy and/or Certificate of Compliance will be applied for."

Date: 10/4/11 Signature: *Nathan Taft Corwin III*



JAMES V. DeLUCCA
ARCHITECT

PHONE (631)727-1611
OFFICES LOCATED AT
16 LINDA LANE EAST
RIVERHEAD, New York 11901

Nathan Taft Corwin III
Land Surveyor

Successor To: Stanley J. Jackson, Jr. L.S.
Title Surveys - Subdivisions - Site Plans - Construction Layout
PHONE (631)727-2090 Fax (631)727-1727
OFFICES LOCATED AT 1586 Main Road
Jamestown, New York 11447

LEGEND

- PROPOSED STORMWATER LEACHING POOL WITH INLET GRATE
- PROPOSED SEPTIC TANK
- PROPOSED SANITARY LEACHING POOL
- PROPOSED FUTURE 50% EXPANSION POOL
- TRAFFIC FLOW
- PROPOSED WATER LINE
- PITCH FOR STORMWATER FLOW
- TOP OF CURB ELEVATION
- TOP OF ASPHALT ELEVATION
- TOP OF INLET GRATE ELEVATION
- 10' HIGH MAX. LIGHT POLE WITH 70 WATT MH LIGHT FIXTURE TYP.

Town of Southampton Planning Board
July 7, 2011

James DeLuca and Nathan Taft Corwin III, L.S. dated June 5, 2008 and last revised January 28, 2011, subject to the following conditions:

- Changes to the site plan prior to signature.
 - All changes and modifications to the site plan required herein shall be depicted on the plans submitted for signature.
 - Indicate 19 required parking spaces.
 - Indicate the parking spaces in each unit.
 - Site plan shall indicate the clearing to be consistent with the landscape plan.
 - Compliance with Department of Public Safety comments, including the knock box.
 - Site plan shall note there is a covenant (date of filing) which limits the clearing to 50% of the property and limits fertilization to 15% of the property.
 - Indicate use of 15 inch pipe between leaching basins and wrap the upper 4-feet of the leaching basins with filter fabric as per Town standards.
 - Landscape Plan to be reviewed by the Environmental Division.
- General Conditions of Approval
 - All HVAC systems shall be screened and located so as not to be visible from the adjacent roadway.
 - The exterior lighting shall be 100 watts or less and be full cut off designed fixtures.
 - The installation and/or use of dusk to dawn lighting fixtures, whether located on or off premises and used to illuminate the subject parcel, shall not be permitted.
 - All proposed lighting shall be shielded and all outdoor lighting shall project downward and light sources shall not be visible to adjacent properties or roadways.
 - This application is subject to inspection fees for the Site Plan and the Stormwater Management Plan. The fees are currently \$1,250.00 and \$300.00 respectively, but may change in the future. Prior to start of construction, the applicant will need to deliver a check in the amount of \$1,550.00 to the Engineering Division, payable to the Town of Southampton.
 - Please arrange for a pre-construction meeting with the Engineering Division two weeks prior to the start of construction. Engineering Division to be contacted no less than 48 hours in advance, during all phases of the project, to inspect erosion control measures, drainage before backfilling, before and after paving of roads and parking lots. Failure to obtain Engineering inspections during the construction process will either delay final approval or incur substantial costs to the applicant in excess of installed components, in order to obtain approval. Prior to final inspection, submit an as built land survey showing all site improvements including, but not limited to, buildings and structures, parking areas, storm-water drainage inlets, retaining wall & fence height and locations.
- Items to be submitted/completed as condition of approval.
 - The current landowner shall file a notarized affidavit indicating compliance with the conditions the site plan approval, as set forth herein, and any deviation shall require review and approval by the Planning Board.
 - As per Section 300-184 K of the Zoning Law ten (10) complete sets of all plans shall be submitted for Planning Board signature with the conditions of approval affixed to each sheet of the plans, the standard statement agreeing to complete said work, and signed by the applicant. Said plans must be submitted and the required statement signed within ninety (90) days of the date of the aforementioned resolution, otherwise said resolution shall be deemed null and void.
- Items to be complete prior to issuance of a Certificate of Occupancy
 - A maintenance bond having a term of two (2) years shall be submitted to guarantee the survival of the landscaping prior to the issuance of a Certificate of Occupancy. The Planning Division upon completion of the work and acceptance of the landscaping as shown on the approved plan shall set the amount of this bond. The applicant shall submit a cost estimate of the approved landscaping for review and approval in conjunction with setting this bond.

WHEREAS, the Site Plan/Special Exception Application entitled Enterprise Lot #3, LLC was deemed complete by the Town of Southampton Planning Board on April 28, 2011, and

WHEREAS, the Planning Board adopted a Pre-Submission Conference Report for the Enterprise Lot #3, LLC on December 2, 2010;

WHEREAS, the site plan/special exception application is for the construction of a 7,200 square foot building for 4 special trade contractor uses on a 40,765 square foot parcel located on Enterprise Zone Drive in the L-40 Zoning District in the Aquifer Protection Overlay District and the CFB Compatible Growth Area (SCTM NO. 900-141-1-9.5);

WHEREAS, the project meets the criteria for classification as a Unilateral action pursuant to Article 8 (State Environmental Quality Review Act, SEQRA) of the New York State Environmental Conservation Law and pursuant to Chapter 157 (Environmental Quality Review) of the Southampton Town Code;

WHEREAS, the Planning Board adopted a negative declaration on April 28, 2011;

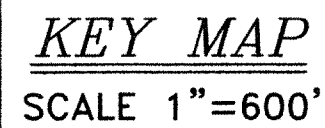
WHEREAS, a public hearing was held on the subject application on May 26, 2011, and public comments received are referenced in the Staff Report dated July 7, 2011; and

WHEREAS, the Planning Board has reviewed said application with regard to the Site Plan elements pursuant to Section 330-182 and Special Exception criteria pursuant to §330-122 of the Town Code and reviewed the Staff Report dated July 7, 2011, and finds that the application is in compliance therewith, and any outstanding items can be addressed with conditions; now therefore

BE IT RESOLVED, The Planning Board hereby approves the Special Exception application for Enterprise Zone Lot #3 for four (4) special trade contractor uses subject to the following conditions:

- Outdoor storage is prohibited within 50 feet of the front yard. Storage will require additional review and approval by the Planning Board/Planning Division; and be it further

RESOLVED, The Planning Board hereby approves the Site Plan of Enterprise Lot #3, LLC for the construction of a 7,200 square foot building for 4 special trade contractor uses on a 40,765 square foot parcel located on Enterprise Zone Drive in the L-40 Zoning District in the Aquifer Protection Overlay District and the CFB Compatible Growth Area (SCTM NO. 900-141-1-9.5), as shown on the site plan prepared by James DeLuca dated August 10, 2010, the Building Elevation prepared by James DeLuca dated May 15, 2011 and the Planning and Lighting Plan prepared by



1. In accordance with the provisions of the USEPA General Permit and the NYSDEC, during the course of construction, certain erosion and sediment control measures may become necessary to prevent the transport of sediment to off-site areas, ponds, water courses, drainage inlets, recharge basins, etc. Actual erosion control measures will be dictated by field conditions as construction progresses, but the following general conditions shall be observed.

- * Existing vegetation to remain shall be protected and remain undisturbed.
- * Clearing and grading shall be scheduled so as to minimize the size of exposed areas and the length of time that areas are exposed.
- * The length and steepness of cleared slopes shall be minimized to reduce runoff velocities.
- * Sediment shall be retained on the site.

Specific methods and materials employed in the installation and maintenance of erosion control measures shall conform to "New York Guidelines for Erosion and Sediment Control."

2. Sediment barriers (silt fence, hay bales or approved equal) shall be installed as required along the limits of disturbance for the duration of the work. No sediment from the site shall be permitted to wash onto adjacent properties, wetlands or roads.
3. Graded and stripped areas and stockpiles shall be kept stabilized through the use of temporary seeding as required. Seed mixtures shall be in accordance with soil conservation service recommendations.
4. Drainage inlets installed as part of the project shall be protected from sediment buildup through the use of sediment barriers, sediment traps, etc, as required.
5. Inspection and maintenance of erosion control measures is to be performed daily by the contractor prior to the start of construction or the day and after heavy or prolonged storms. Maintenance measures include, but are not limited to, cleaning and/ or repair of sediment basins or traps, sediment barriers, berms, diversions and inlet protection.
6. Appropriate means shall be used to control dust during construction.
7. A stabilized construction entrance shall be maintained to prevent soil and loose debris from being tracked onto local roads. The construction entrance shall be maintained until the site is permanently stabilized.
8. Sediment barriers and other erosion control measures shall remain in place until upland disturbed areas are permanently stabilized. After permanent stabilization, paved areas shall be cleaned and the drainage system cleaned and flushed as necessary.
9. Engineering Division to be contacted no less than 48 hours in advance, to inspect erosion control measures, drainage before backfilling, before and after paving of roads and parking lots. Failure to obtain Engineering inspections during the construction process will either delay final approval, or incur substantial cost to the applicant to expose installed components, in order to obtain approval.



For new buildings and/or structures:

"I accept the provisions of this site plan and all conditions of the Planning Board's resolution dated 12/11/11, and agree that all conditions will be fully complied with and agree that it will be fully completed, or the outstanding items of work bonded (with acceptable surety to the Town) before any new building(s) or structure(s) shown on this approved plan is (are) occupied, and agree that a Certificate of Occupancy and/or Certificate of Compliance will be applied for."

10/4/11
Date

Signature

SHEET 2 OF 2
EROSION CONTROL MEASURE DETAIL
LOT 3
MAP OF
SOUTHAMPTON ENTERPRISE ZONE
FILE No. 11151 FILED AUGUST 31, 2004
SITUATE
FLANDERS
TOWN OF SOUTHAMPTON
SUFFOLK COUNTY, NEW YORK
S.C. TAX No. 900-141-01-9.5
SCALE 1"=20'
JUNE 5, 2008
JANUARY 28, 2011 ADDED SITE PLAN

CLEARING FOR PROPERTY IS LIMITED TO 50% AND FERTILIZATION LIMITED TO 15% OF THE PROPERTY PURSUANT TO THE DECLARATION OF COVENANTS FILED ASSOCIATED WITH THE SOUTHAMPTON ENTERPRISE ZONE SUBDIVISION.

OWNER

ENTERPRISE LOT 3 LLC
138 OREGON AVE
MEDFORD NY 11763

Town of Southampton Planning Board
July 7, 2011

**AGENDA ITEM NO. 7
ADOPTED RESOLUTION
CONDITIONAL APPROVAL
SITE PLAN/SPECIAL EXCEPTION APPLICATION
ENTERPRISE LOT #3, LLC
HAMLET OF RIVERSIDE**

WHEREAS, the Site Plan/Special Exception Application entitled Enterprise Lot #3, LLC was deemed complete by the Town of Southampton Planning Board on April 28, 2011, and

WHEREAS, the Planning Board adopted a Pre-Submission Conference Report for the Enterprise Lot #3, LLC on December 2, 2010;

WHEREAS, the site plan/special exception application is for the construction of a 7,200 square foot building for 4 special trade contractor uses on a 40,765 square foot parcel located on Enterprise Zone Drive in the LI-40 Zoning District in the Aquifer Protection Overlay District and the CPB Compatible Growth Area (SCTM No. 900-141-1-9.5);

WHEREAS, the project meets the criteria for classification as a Unlisted action pursuant to Article 8 (State Environmental Quality Review Act, SEQRA) of the New York State Environmental Conservation Law and pursuant to Chapter 157 (Environmental Quality Review) of the Southampton Town Code;

WHEREAS, the Planning Board adopted a negative declaration on April 28, 2011;

WHEREAS, the subject application was referred to other relevant agencies and any responses if received are provided in the Staff Report dated July 7, 2011;

WHEREAS, a public hearing was held on the subject application on May 26, 2011, and public comments received are referenced in the Staff Report dated July 7, 2011; and

WHEREAS, the Planning Board has reviewed said application with regard to the Site Plan elements pursuant to Section 330-182 and Special Exception criteria pursuant to §§330-122 of the Town Code and reviewed the Staff Report dated July 7, 2011, and finds that the application is in compliance therewith, and any outstanding items can be addressed with conditions; now therefore

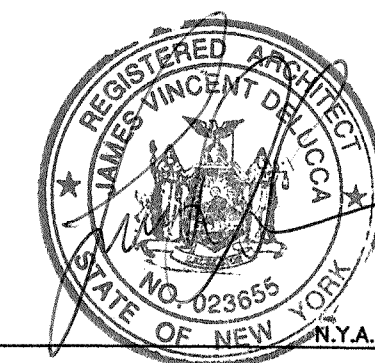
BE IT RESOLVED, The Planning Board hereby approves the Special Exception application for Enterprise Zone Lot #3 for four (4) special trade contractor uses subject to the following conditions:

- as built land survey showing all site improvements including, but not limited to, buildings and structures, parking areas, storm-water drainage inlets, retaining wall & fence height and locations
1. Outdoor storage is prohibited within 50 feet of the front yard. Storage will require additional review and approval by the Planning Board/Planning Division; and be it further

RESOLVED, the Planning Board hereby approves the Site Plan of Enterprise Lot #3, LLC for the construction of a 7,200 square foot building for 4 special trade contractor uses on a 40,765 square foot parcel located on Enterprise Zone Drive in the LI-40 Zoning District in the Aquifer Protection Overlay District and the CPB Compatible Growth Area (SCTM NO. 900-141-1-9.5), as shown on the site plan prepared by James Delucca dated August 10, 2010, the Building Elevation prepared by James Delucca dated May 13, 2011 and the Planning and Technical Board.

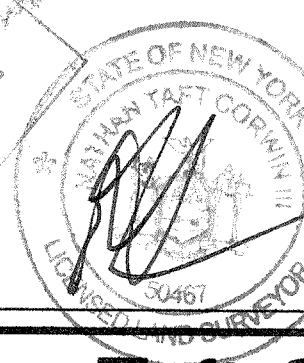
the 2011 and 2012 Annual Reports, the 2011 and 2012 Planning and Lighting Plan prepared by the Planning and Lighting Committee, and the 2011 and 2012 Annual Reports, the 2011 and 2012 Planning and Lighting Plan prepared by the Planning and Lighting Committee.

5. Items to be complete prior to issuance of a Certificate of Occupancy
 - a. A maintenance bond covering a term of two (2) years shall be submitted to guarantee the survival of the landscaping prior to the issuance of a Certificate of Occupancy. The Planning Division upon completion of the work and acceptance of the landscaping as shown on the approved plan shall set the amount of this bond. The applicant shall submit a cost estimate of the approved landscaping for review and approval in conjunction with setting this bond.



JAMES V. DeLUCCA
ARCHITECT

PHONE (631)727-1611
OFFICES LOCATED AT
16 LINDA LANE EAST
RIVERHEAD, New York 11901



Nathan Taft Corwin III
Land Surveyor

Successor To: Stanley J. Isaksen, Jr. L.S.
Joseph A. Ingegnio L.S.

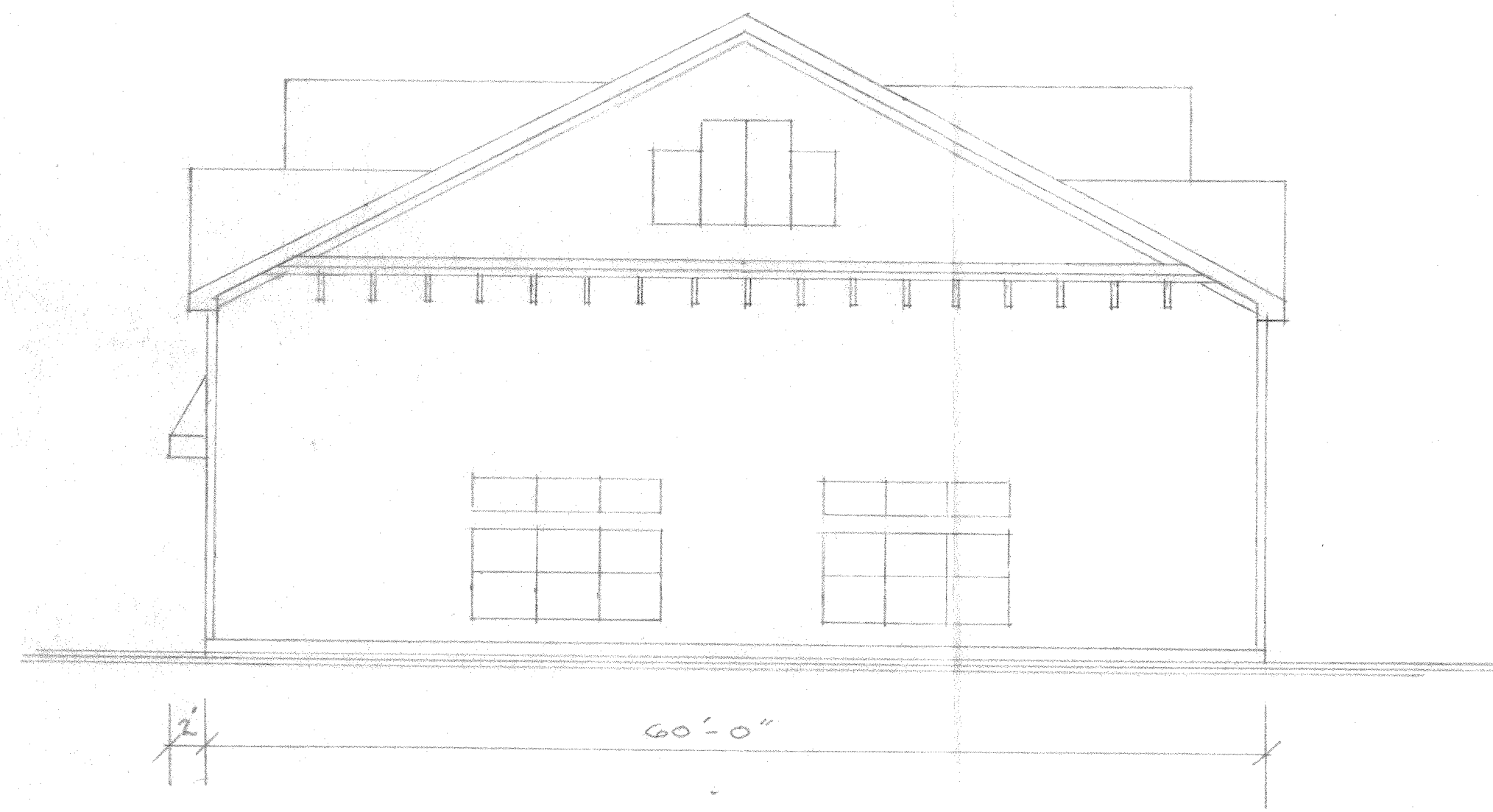
Title Surveys — Subdivisions — Site Plans — Construction Layout

PHONE (631)727-2090 Fax (631)727-1727

OFFICES LOCATED AT MAILING ADDRESS

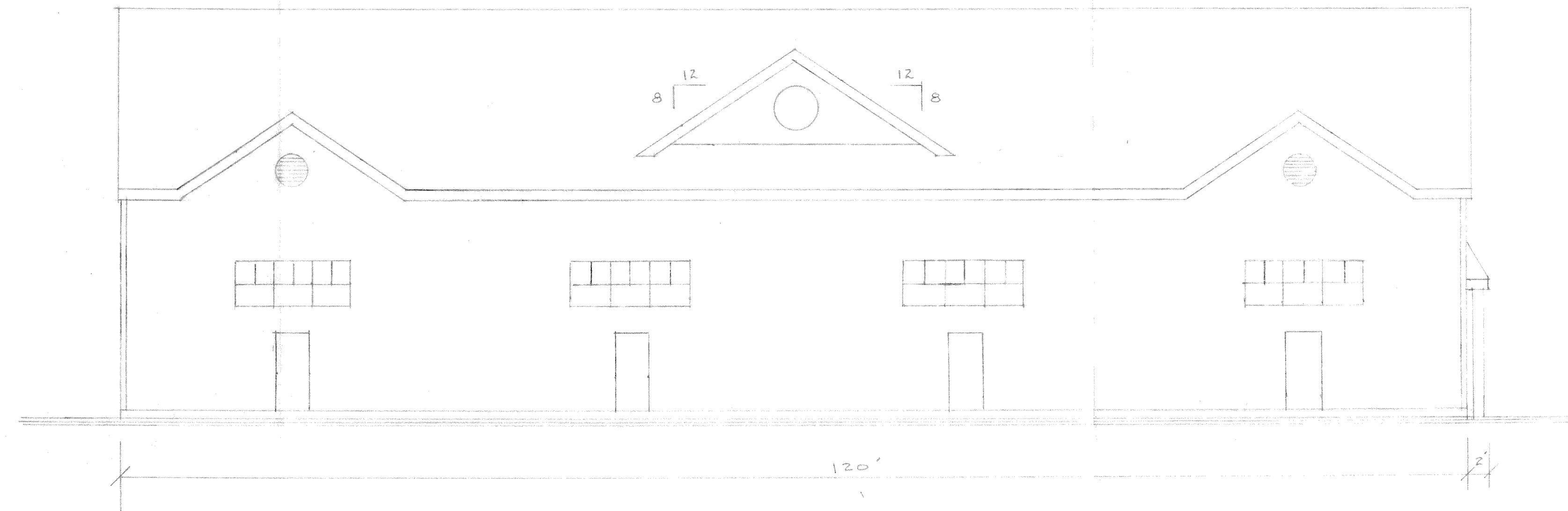
1586 Main Road P.O. Box 16

Jamestown, New York 11947 Jamestown, New York 11947



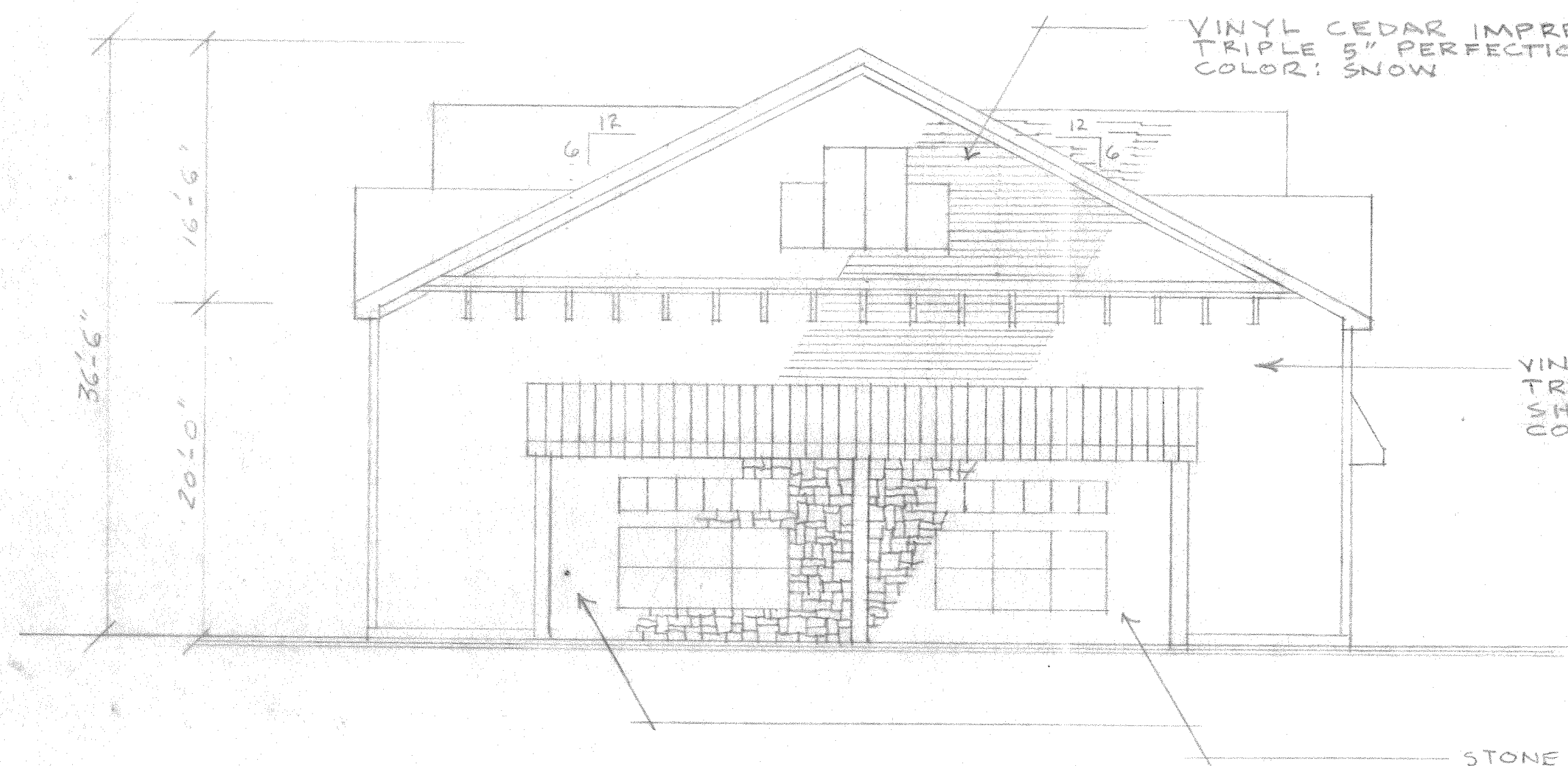
REAR ELEVATION

SCALE: $\frac{1}{8}" = 1'-0"$



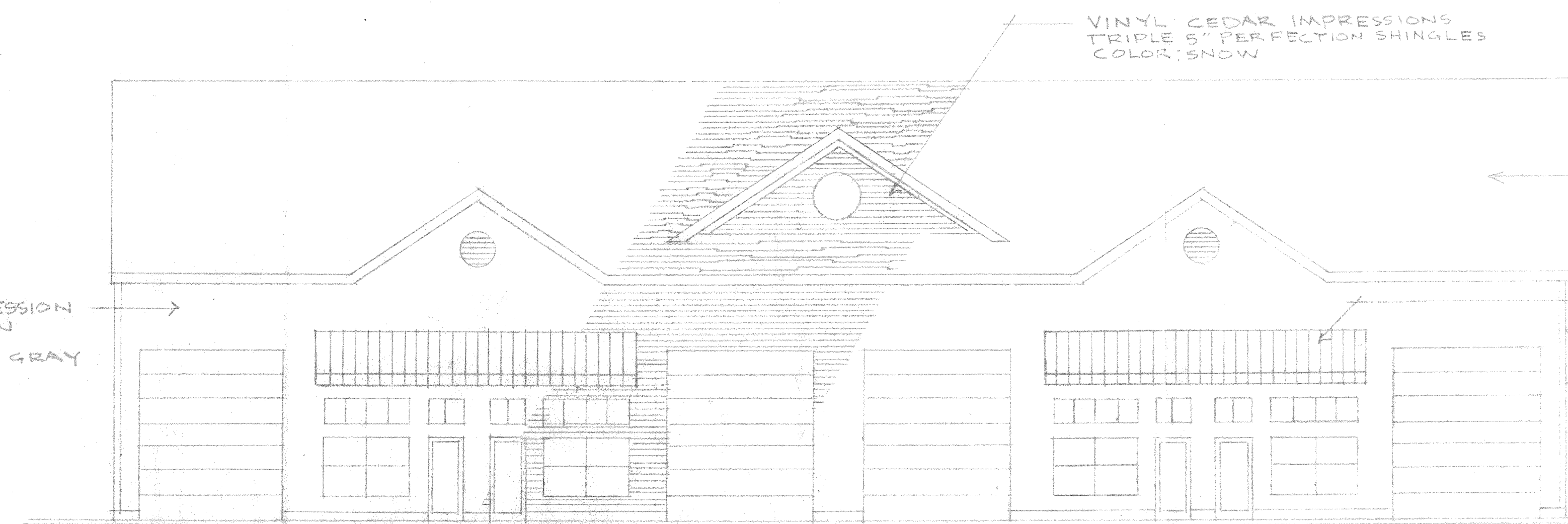
LEFT SIDE ELEVATION

SCALE: $\frac{1}{8}" = 1'-0"$



FRONT ELEVATION

SCALE: $\frac{1}{8}" = 1'-0"$



RIGHT SIDE ELEVATION

SCALE: $\frac{1}{8}" = 1'-0"$

VINYL CEDAR IMPRESSION
TRIPLE 5" PERFECTION SHINGLES
COLOR: SNOW

VINYL CEDAR IMPRESSION
TRIPLE 5" PERFECTION
SHINGLES
COLOR: STERLING GRAY

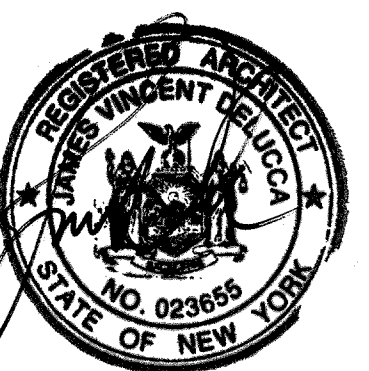
STONE VENEER

VINYL CEDAR IMPRESSIONS
TRIPLE 5" PERFECTION SHINGLES
COLOR: SNOW

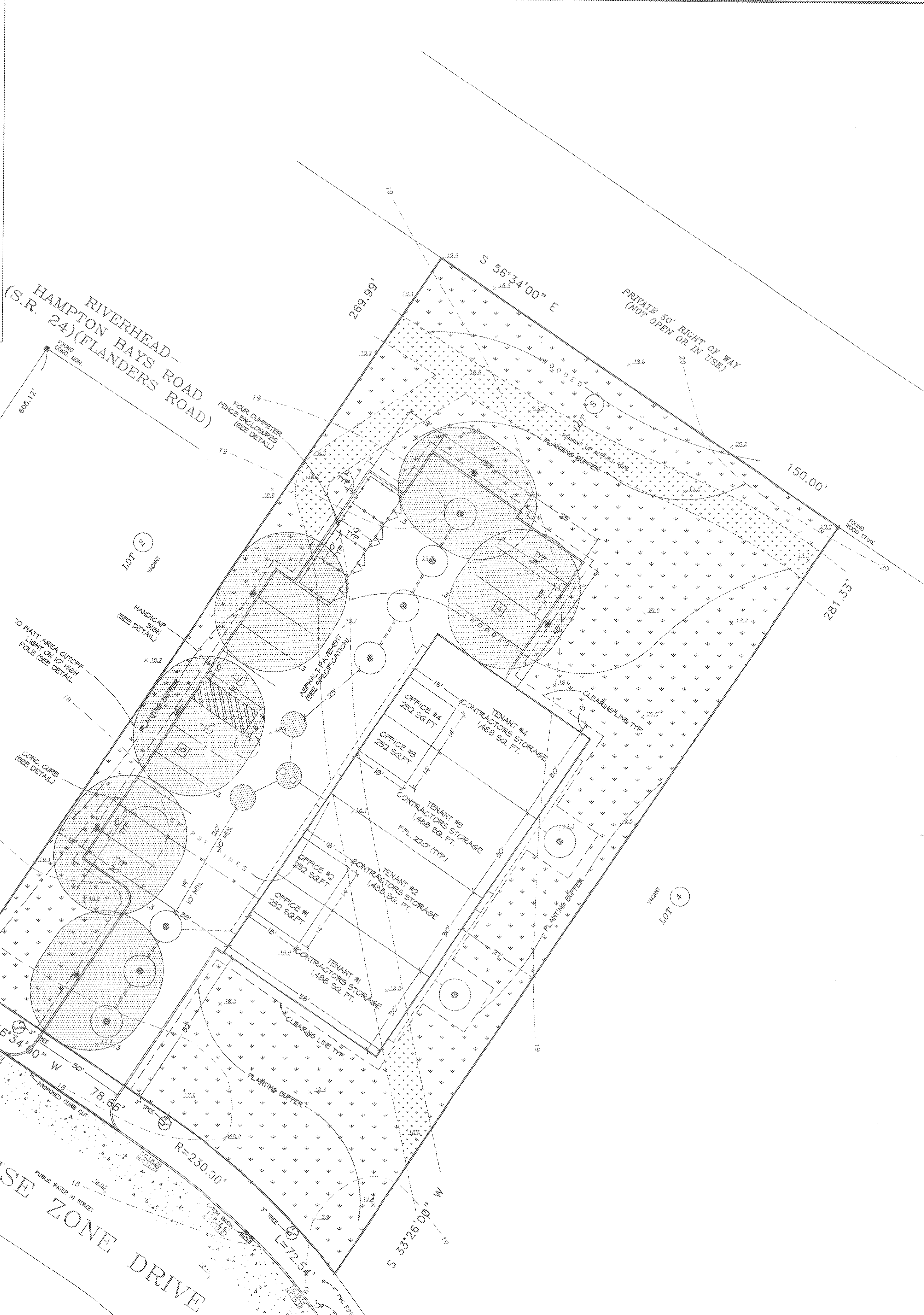
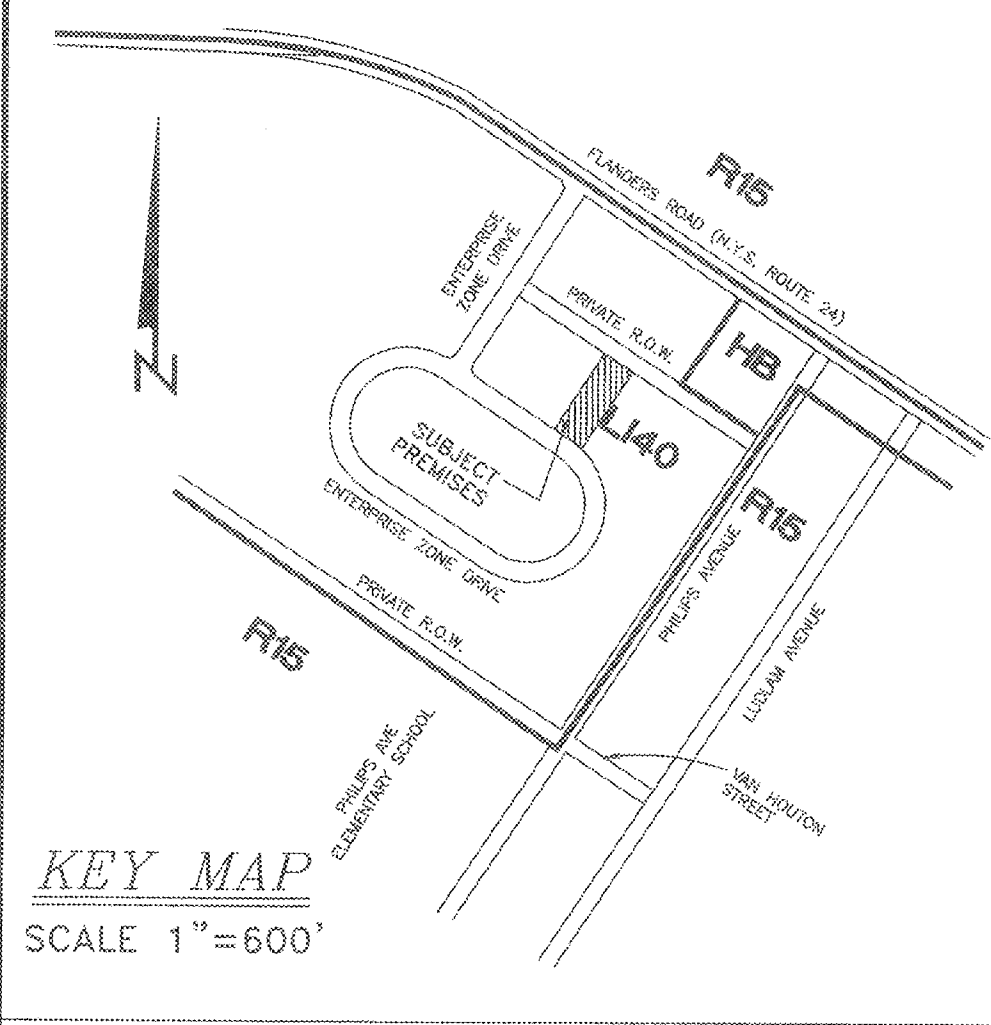
TIMBERLINE ARCHITECTURAL
ROOF SHINGLES TYP
COLOR: FENSTER GRAY

METAL STANDING SEAM
ROOFING TYP
COLOR: POLAR WHITE
OR
ROYALE BLUE

RECEIVED
JAMES V. DE LUCCA
ARCHITECT
NO. 023695
STATE OF NEW YORK
JUN 16 AM 11:05

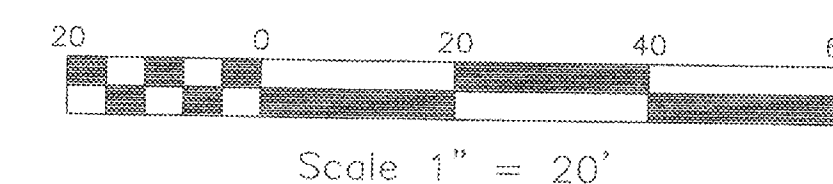


OWNER: LOWELL ELECTRICAL CONTRACTING INC
DRAWN BY: JAMES V. DE LUCCA, P.A. (631) 727-1611
SKETCH PLAN: NUMBER #3 LOT #3
DATE: 5/13/2011



- LEGEND**
- PROPOSED STORMWATER LEACHING POOL WITH INLET GRATE
 - PROPOSED SEPTIC TANK
 - PROPOSED SANITARY LEACHING POOL
 - PROPOSED FUTURE 50% EXPANSION POOL
 - TRAFFIC FLOW
 - PROPOSED WATER LINE
 - PITCH FOR STORMWATER FLOW
 - TOP OF CURB ELEVATION
 - TOP OF ASPHALT ELEVATION
 - TOP OF INLET GRATE ELEVATION
 - 10" HIGH MAX. LIGHT POLE WITH 70 WATT MH LIGHT FIXTURE TYP.
 - PROPOSED REVEGETATED AREA
 - PITCH PINE (PINUS RIGIDA)
 - 5'-0" HIGH @ 10'-0" O.C. TYP. MAX. 8'-0" O.C. TYP. MIN.
 - EXISTING VEGETATED AREA
 - HORIZONTAL FOOTCANDLE AREA

PLANTING AND LIGHTING PLAN
LOT 3
MAP OF
SOUTHAMPTON ENTERPRISE ZONE
FILE No. 11151 FILED AUGUST 31, 2004
SITUATE
FLANDERS
TOWN OF SOUTHAMPTON
SUFFOLK COUNTY, NEW YORK
S.C. TAX No. 900-141-01-9.5
SCALE 1"=20'
JUNE 5, 2008
JANUARY 28, 2011 ADDED SITE PLAN



AREA = 40,765 sq. ft.
0.936 ac.

OWNER
ENTERPRISE LOT 3 LLC
138 OREGON AVE
MEDFORD NY 11763

SITE DATA TABLE:

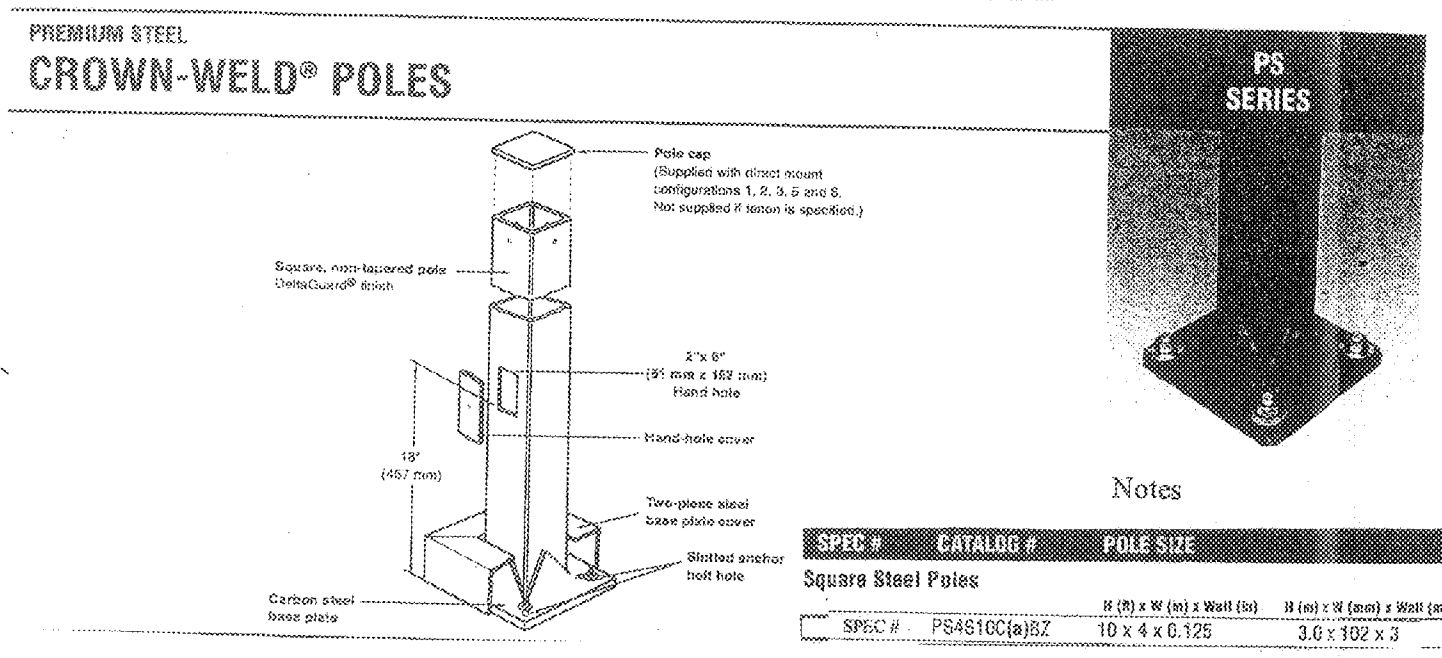
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3. PROPOSED CLEARING AREA (48%)	19,567 SQ. FT.
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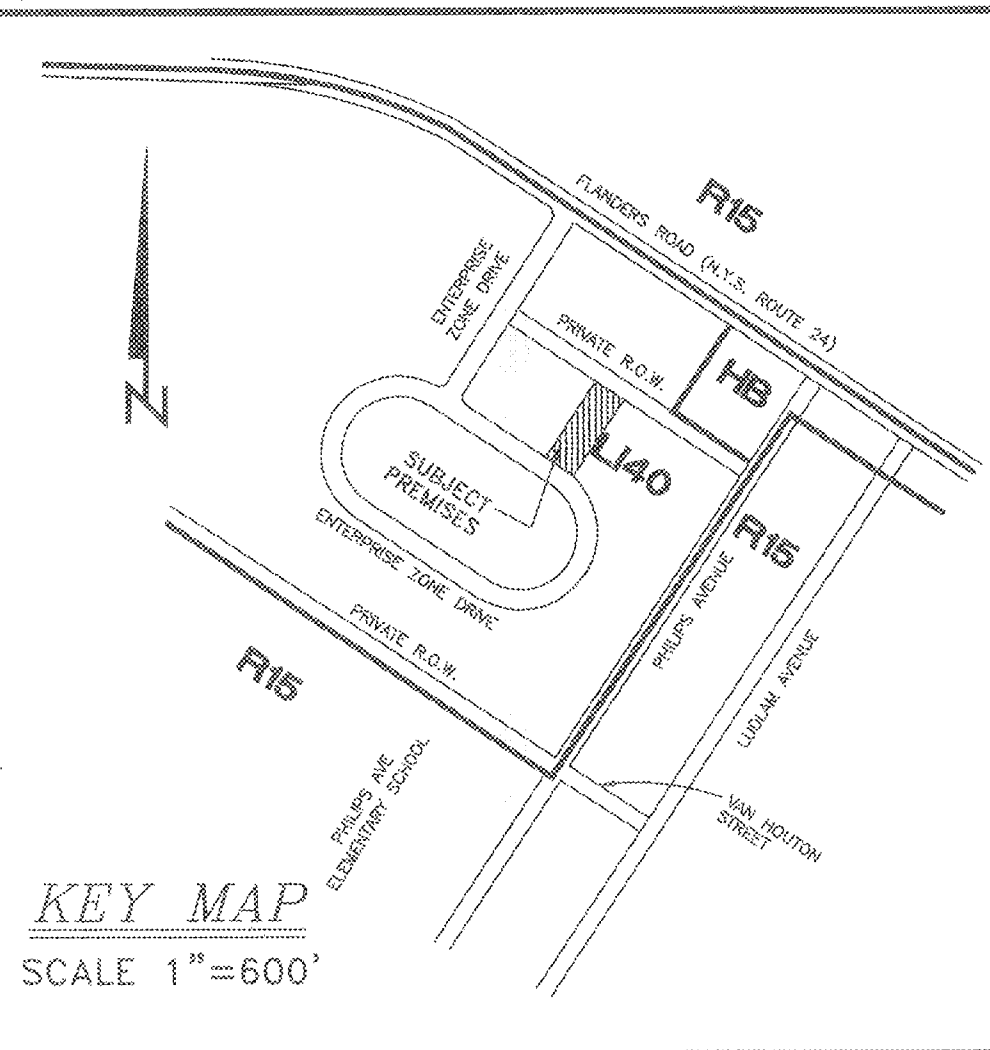
ZONING DATA TABLE:

1. ZONING DISTRICT	LI-40
2. PERMITTED LOT COVERAGE (50%)	12,229 SQ. FT.
3. PROPOSED LOT COVERAGE (17.1%)	6,960 SQ. FT.
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5. PROPOSED BUILDING HEIGHT	37 FT.
6. PERMITTED FRONT YARD DEPTH	50 FT.
7. PROPOSED FRONT YARD DEPTH	52 FT.
8. PERMITTED MINIMUM SIDE YARD	20 FT.
9. PROPOSED MINIMUM SIDE YARD	25 FT.
10. PERMITTED MINIMUM TOTAL SIDE YARDS	60 FT.
11. PROPOSED MINIMUM TOTAL SIDE YARDS	70 FT.
12. PERMITTED REAR YARD DEPTH	60 FT.
13. PROPOSED REAR YARD DEPTH	97 FT.

REQUIRED PARKING

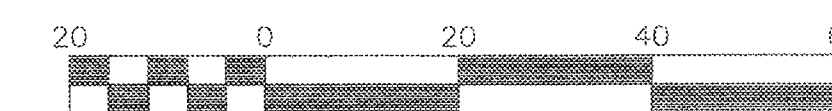
1. CONTRACTORS USE ONE STALL PER 50 SQ. FT.	= 14 STALLS (EXTERIOR)
2. REQUIRED PARKING: 7200/500	= 14 STALLS (EXTERIOR)
3. REQUIRED EMPLOYEE PARKING: ONE PER TENANT 1x4=	= 4 STALLS (INTERIOR)
4. TOTAL PARKING REQUIRED	= 18 STALLS
5. TOTAL PARKING PROVIDED	= 18 STALLS





SHEET 1 OF 2
EROSION CONTROL MEASURE PLAN
LOT 3
MAP OF
SOUTHAMPTON ENTERPRISE ZONE
FILE No. 11151 FILED AUGUST 31, 2004

SITUATE
FLANDERS
TOWN OF SOUTHAMPTON
SUFFOLK COUNTY, NEW YORK
S.C. TAX No. 900-141-01-9.5
SCALE 1"=20'
JUNE 5, 2008
JANUARY 28, 2011 ADDED SITE PLAN



AREA = 40,765 sq. ft.
0.936 ac.

OWNER
ENTERPRISE LOT 3 LLC
138 OREGON AVE
MEDFORD NY 11763

SITE DATE TABLE:

1. SITE AREA	40,765 SQ. FT.
2. PERMITTED CLEARING (50%)	20,383 SQ. FT.
3. PROPOSED CLEARING AREA (48%)	19,567 SQ. FT.
4. EXISTING VEGETATED AREA	36,665 SQ. FT.
5. PROPOSED REVEGETATED AREA	2,390 SQ. FT.
6. TOTAL PROPOSED VEGETATED AREA (52%) (INCLUDE REVEGETATED AREA)	21,198 SQ. FT.
7. PROPOSED ASPHALT AREA	10,760 SQ. FT.
8. PROPOSED ROOF AREA	6,960 SQ. FT.

ZONING DATE TABLE:

1. ZONING DISTRICT	LI-40
2. PERMITTED LOT COVERAGE (50%)	12,229 SQ. FT.
3. PROPOSED LOT COVERAGE (17.1%)	6,960 SQ. FT.
4. MAXIMUM BUILDING HEIGHT	40 FT.
5. PROPOSED BUILDING HEIGHT	37 FT.
6. PERMITTED FRONT YARD DEPTH	50 FT.
7. PROPOSED FRONT YARD DEPTH	52 FT.
8. PERMITTED MINIMUM SIDE YARD	20 FT.
9. PROPOSED MINIMUM SIDE YARD	25 FT.
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REQUIRED PARKING

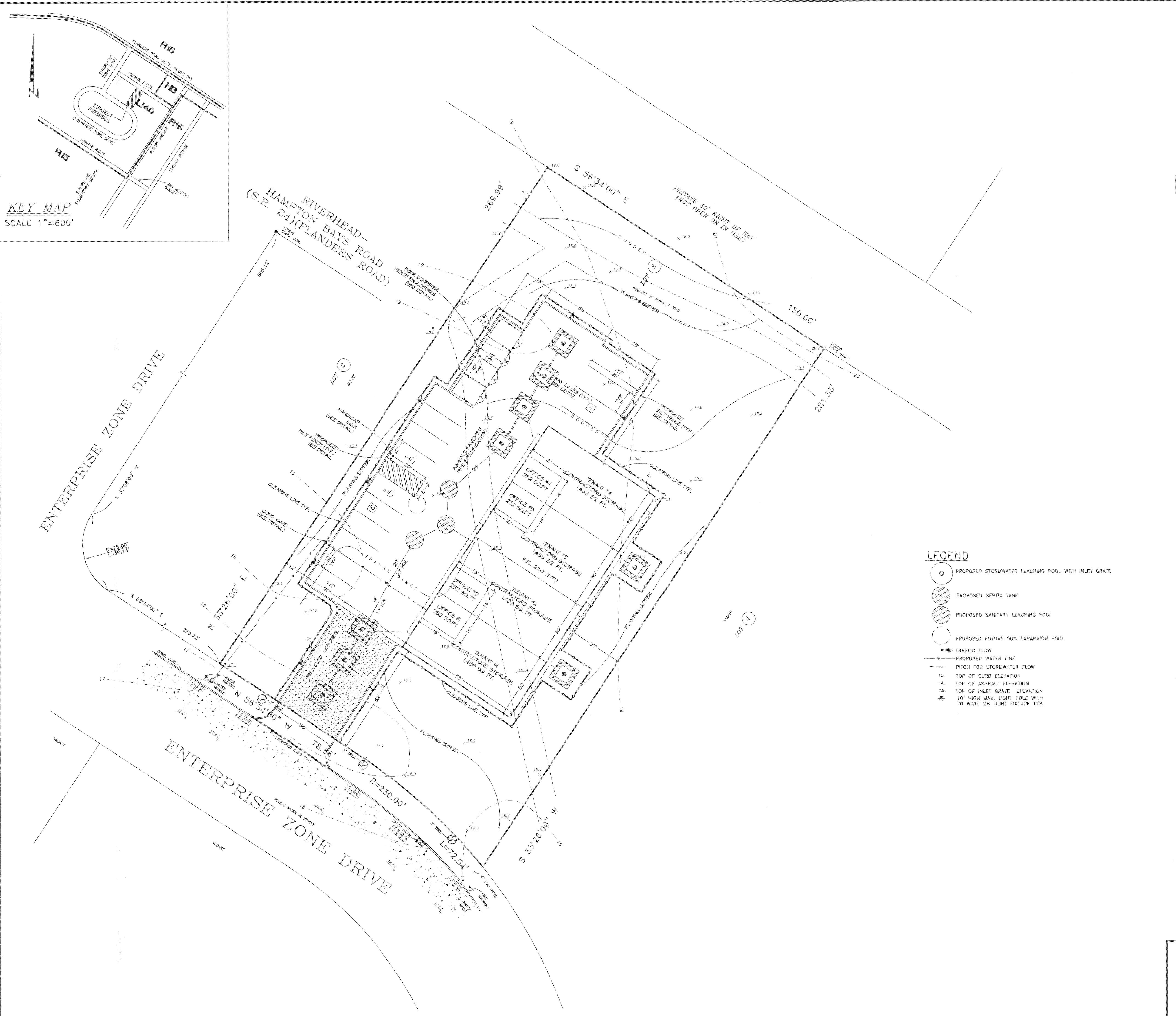
1. CONTRACTORS USE ONE STALL PER 50 SQ. FT.	= 14 STALLS (EXTERIOR)
2. REQUIRED PARKING: 7200/500	= 14 STALLS (INTERIOR)
3. REQUIRED EMPLOYEE PARKING: ONE PER TENANT 1944	= 18 STALLS
4. TOTAL PARKING REQUIRED	= 18 STALLS
5. TOTAL PARKING PROVIDED	= 18 STALLS

NOTES:

- ELEVATIONS ARE REFERENCED TO AN N.G.V.D. 1929 DATUM
EXISTING ELEVATIONS ARE SHOWN THUS: 20.0
EXISTING CONTOUR LINES ARE SHOWN THUS: 20
- COVENANTS AND RESTRICTIONS AFFECTING SOME OR ALL LOTS IN THIS SUBDIVISION HAVE BEEN FILED WITH THE CLERK OF SUFFOLK COUNTY.

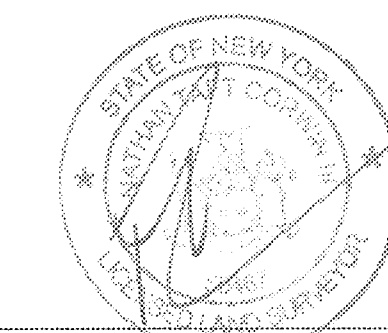
LEGEND

- PROPOSED STORMWATER LEACHING POOL WITH INLET GRATE
- PROPOSED SEPTIC TANK
- PROPOSED SANITARY LEACHING POOL
- PROPOSED FUTURE 50% EXPANSION POOL
- TRAFFIC FLOW
- PROPOSED WATER LINE
- PITCH FOR STORMWATER FLOW
- TOP OF CURB ELEVATION
- TOP OF ASPHALT ELEVATION
- TOP OF INLET GRATE ELEVATION
- 10' HIGH MAX. LIGHT POLE WITH 70 WATT MH LIGHT FIXTURE TYP.



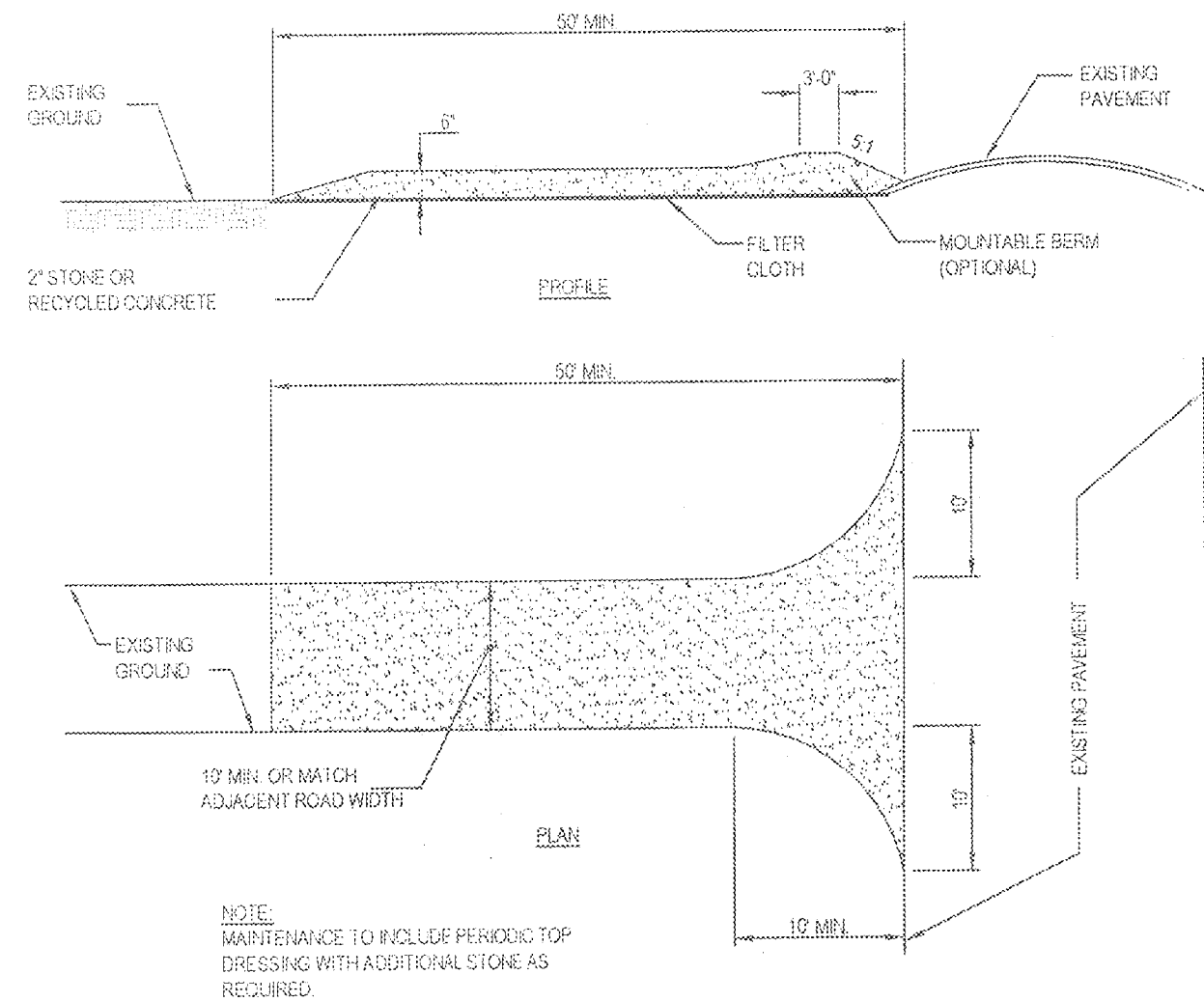
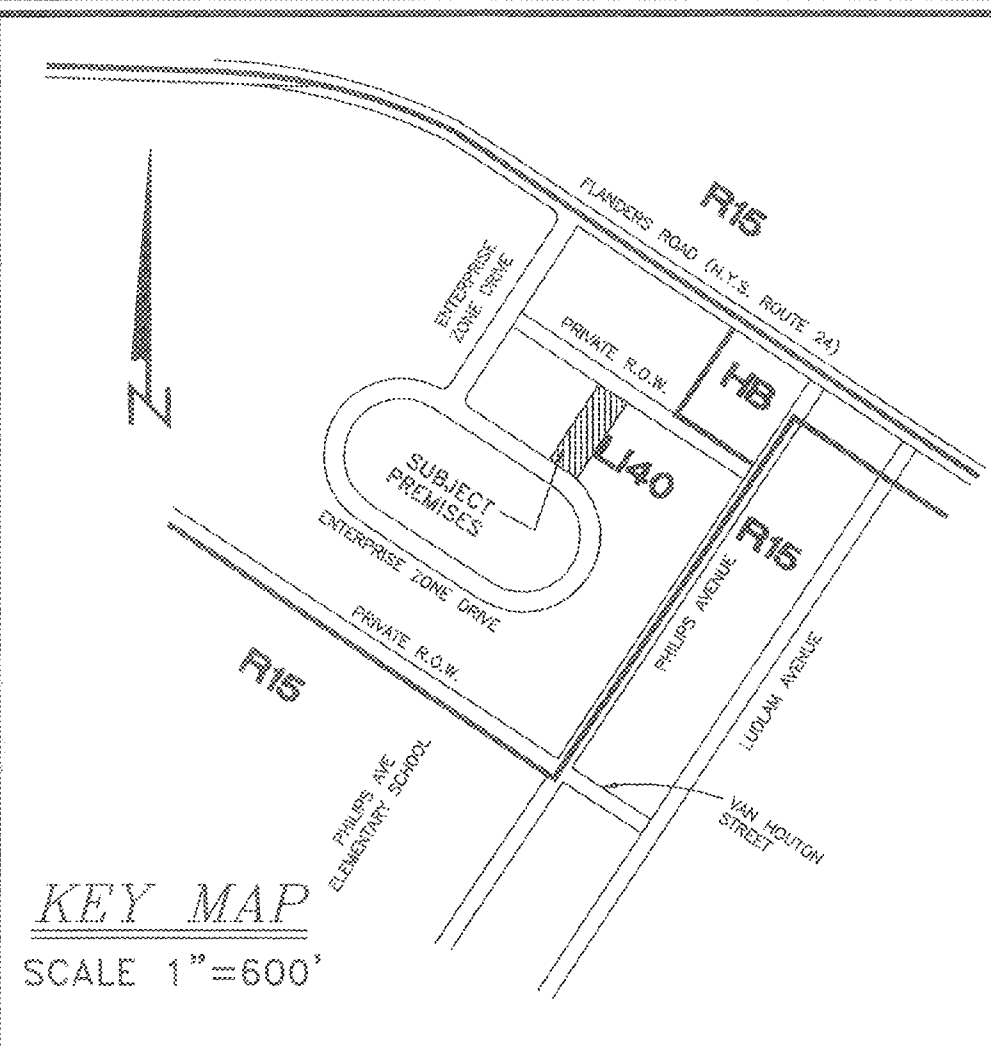
JAMES V. DeLUCCA
ARCHITECT

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RIVERHEAD, New York 11901



Nathan Taft Corwin III
Land Surveyor

Successor To: Stanley J. Haskins, Jr. L.S.
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MAILING ADDRESS
P.O. Box 16
Jamesport, New York 11947



STABILIZED CONSTRUCTION ENTRANCE

Erosion Control Measures

- In accordance with the provisions of the USEPA General Permit and the NYSDEC, during the course of construction, certain erosion and sediment control measures may become necessary to prevent the transport of sediment to off-site areas, ponds, water courses, drainage inlets, recharge basins, etc. Actual erosion control measures will be dictated by field conditions as construction progresses, but the following general conditions shall be observed.

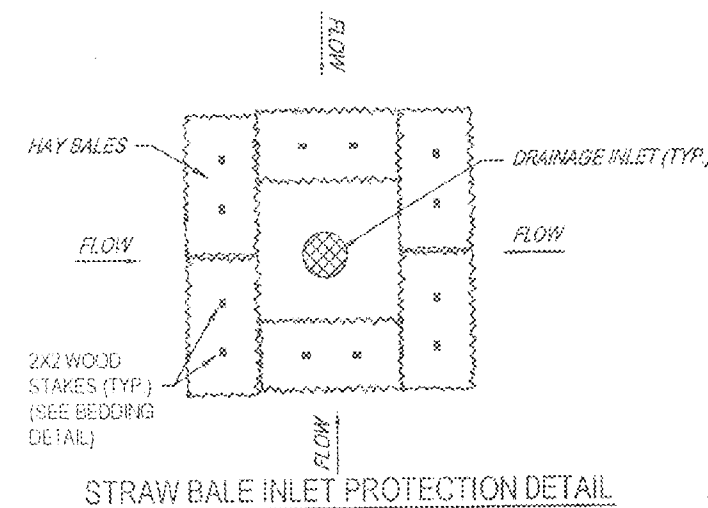
- * Existing vegetation to remain shall be protected and remain undisturbed.
- * Clearing and grading shall be scheduled so as to minimize the size of exposed areas and the length of time that areas are exposed.
- * The length and steepness of cleared slopes shall be minimized to reduce runoff velocities.
- * Sediment shall be retained on the site.

Specific methods and materials employed in the installation and maintenance of erosion control measures shall conform to "New York Guidelines for Erosion and Sediment Control."

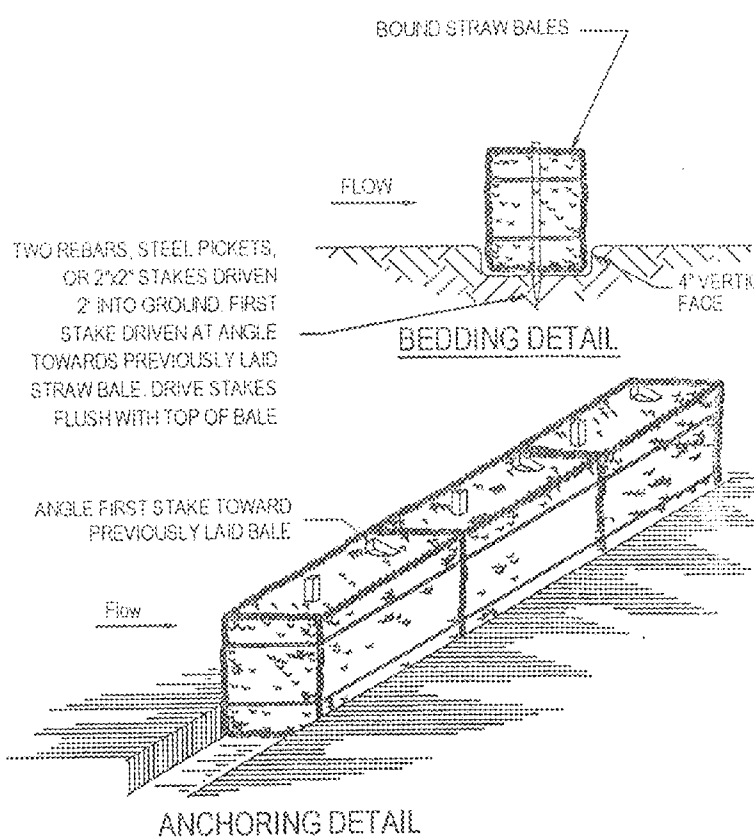
- Sediment barriers (silt fence, hay bales or approved equal) shall be installed as required along the limits of disturbance for the duration of the work. No sediment from the site shall be permitted to wash onto adjacent properties, wetlands or roads.
- Graded and stripped areas and stockpiles shall be kept stabilized through the use of temporary seeding as required. Seed mixtures shall be in accordance with soil conservation service recommendations.
- Drainage inlets installed as part of the project shall be protected from sediment buildup through the use of sediment barriers, sediment traps, etc. as required.
- Inspection and maintenance of erosion control measures is to be performed daily by the contractor prior to the start of construction for the day and after heavy or prolonged storms. Maintenance measures include, but are not limited to, cleaning and/or repair of sediment basins or traps, sediment barriers, berms, diversions and inlet protection.
- Appropriate means shall be used to control dust during construction.
- A stabilized construction entrance shall be maintained to prevent soil and loose debris from being tracked onto local roads. The construction entrance shall be maintained until the site is permanently stabilized.

- Sediment barriers and other erosion control measures shall remain in place until upland disturbed areas are permanently stabilized. After permanent stabilization, paved areas shall be cleaned and the drainage system cleaned and flushed as necessary.

- Engineering Division to be contacted no less than 48 hours in advance, to inspect erosion control measures, drainage before backfilling, before and after paving of roads and parking lots. Failure to obtain Engineering inspections during the construction process will either delay final approval, or incur substantial cost to the applicant to expose installed components, in order to obtain approval.



- NOTES:
- BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE DOWNHILL AND IN A ROW WITH ENDS TIGHTLY ADJUTING THE ADJACENT BALES.
 - EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4 INCHES AND PLACED SO THE BINDERIS ARE HORIZONTAL.
 - BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAD BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
 - INSPECTION SHALL BE FREQUENT AND REPAIR/REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 - BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

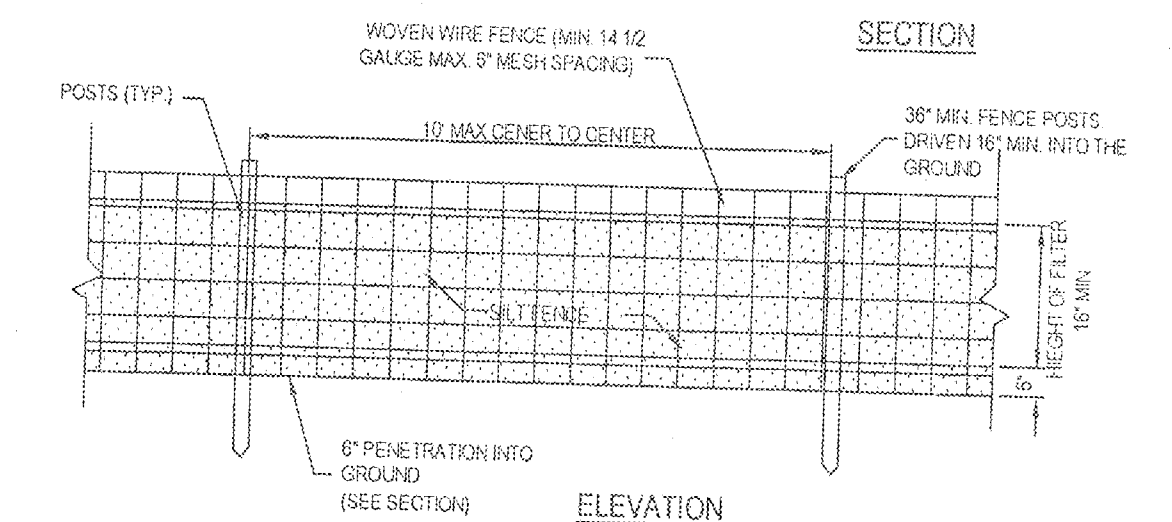
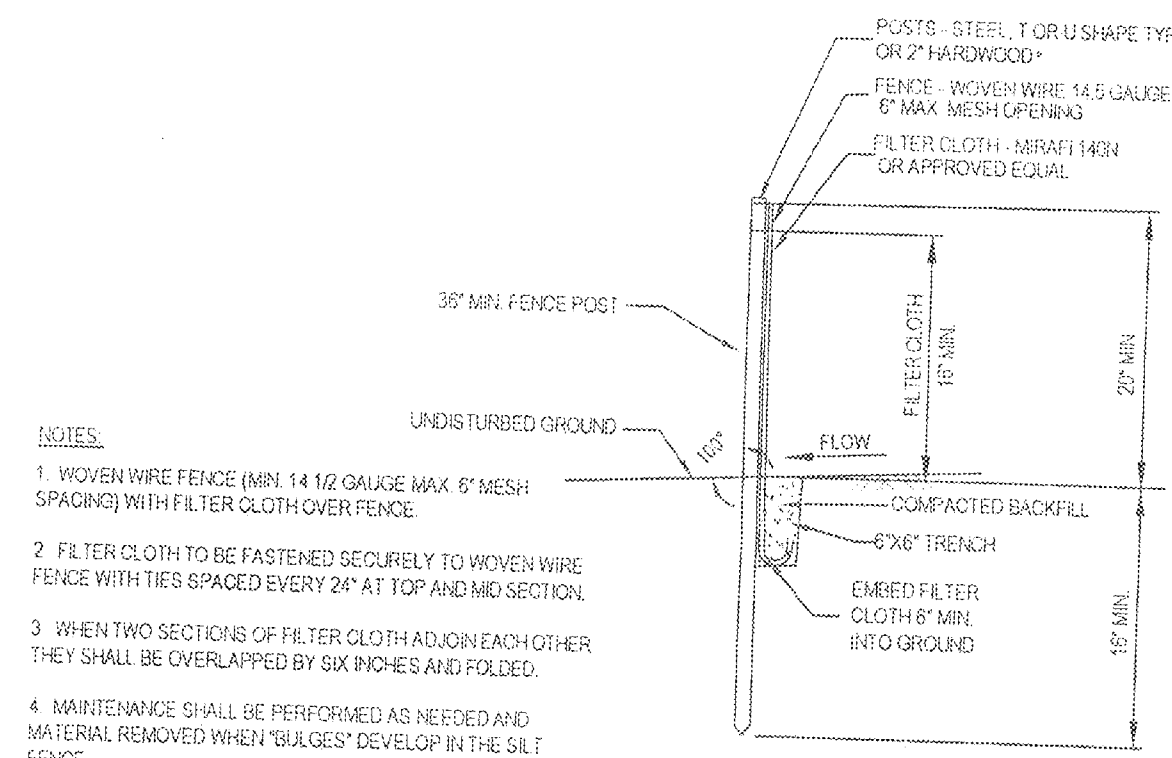


STRAW BALE DIKE DETAIL

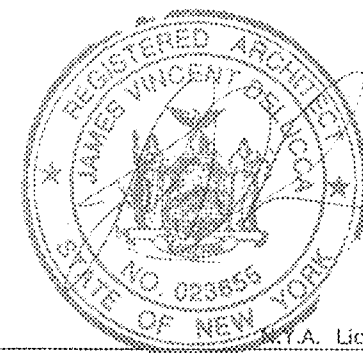
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EROSION CONTROL MEASURE DETAIL
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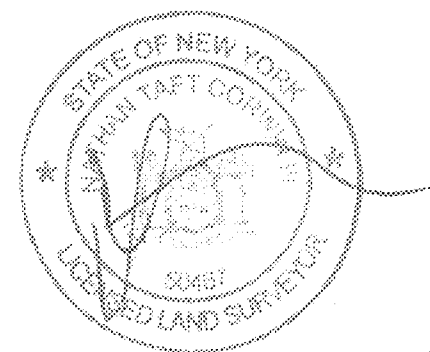


SILT FENCE DETAIL



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